DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.

IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL

STRUCTURAL ELEMENTS TO SUIT. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORISED BY DTA ARCHITECTS

**LEGEND - PLAN** External Wall: Nom. 240mm thick brick veneer wall, finish as specified External blade Walls Nom. 230mm thick brick cavity wall, finish as specified Party Walls, between units: Nom. 367mm thick hebel wall, with additional stud framing, Party Walls, between units & fovers: Nom. 261mm thick hebel wall, with additional stud framing, finish as specified Nom. 354mm thick concrete walls, with additional stud framing, finish as specified. Fire Stair Walls: Nom. 248mm thick concrete block walls, with additional stud framing, finish as specified. **Unit Internal Walls:** Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected finish. Basement outline below. Non-slip ceramic floor tiles. Refer to finishes schedule Non-slip ceramic floor tiles / wet area. Refer to finishes schedule Carpet floor finish. Refer to finishes schedule ☐ ⊃ॅ८ ☐ Ceiling fan. Refer to Basix requirements FFL 35.00 Proposed finished floor levels. WT01 - Wall type Pefer to wall type schedule

ESSENTIAL FIRE AND OTHER SAFETY MEASURES	STANDARD OF PERFORMANCE TO BCA 2022 Volume 1
Fire seals protecting openings in fire-resisting components	New System: BCA 2022 -Volume 1, C4D15, C4D16, AS 1530.4-2014, AS 4072.1-2005 and manufacturer's specifications
Leightweight construction	New System: BCA 2022 -Volume 1, Spec C2D9, AS 1530.4-2014, AS 4072.1-2005 and manufacturer's specifications
Solid core doors (SOU's doors opening into common corridors)	New System: BCA 2022 -Volume 1, Spec C4D12
Smoke Alarms	BCA 2022 -Volume 1, Specification 20. S20C3 & AS 3786-2014
Emergency Lighting	BCA 2022 -Volume 1,Clauses E4P2, E4D4 & AS/NZS 2293.1 - 2
Emergency Evacuation Plan	AS 3745 - 2002
Exit signs	BCA 2022 -Volume 1 Clauses E4D5, E4D6 & E4D8 & AS/NZS 2293.1 - 2018
Fire Blankets	AS 2444 - 2001 and clause E1D14 of BCA 2022 -Volume 1
Mechanical Air Handling Systems	BCA 2022 Clauses E2D3, AS/NZS 1668.1 - 2015 & AS 1668.2 - 2012
Paths of Travel	Environmental Planning and Assessment (Development Certification and Fire Safety), Regulation 2021, section 108, 109 A Reg. 2000 Clauses 186
Portable Fire Extinguishers	BCA 2022 -Volume 1 Clauses E1D14 & AS 2444 - 2001
Building Occupant Warning System	BCA 2022 -Volume 1, Specification 20. S20C7 & AS 1670.1- 2018 Clause 3.22
Warning & Operational Signs	Clause 108 of EP&A ( Development Certification and Fire Safety Regulation 2021, AS 1905.1 - 2005, BCA Clause D4D7

UNIT	ST	ORAG	E DA1	ΓΑ
UNIT	STORAGE IN UNIT	STORAGE IN BASEMENT	ADG REQUIREMENT	PROVIDED
UNIT 1 - GF,L1, L2, L3 (1B):	6m3	0m3	6m3	6m3
UNIT 2 - GF,L1, L2, L3 (1B):	1.94m3	4.06m3	6m3	6m3
UNIT 3 - GF,L1, L2, L3 (1B):	6m3	0m3	6m3	6m3
UNIT 4 - GF,L1(2B):	1.94m3	6.06m3	8m3	8m3
UNIT 4 - L2, L3 (2B):	5.73m3	2.27m3	8m3	8m3
UNIT 5 - GF,L1 (2B):	1.94m3	6.06m3	8m3	8m3
UNIT 5 - L2, L3 (2B):	5.73m3	2.27m3	8m3	8m3
UNIT 6 - GF,L1, L2, L3 (1B):	1.94m3	4.06m3	6m3	6m3
UNIT 7 - GF,L1, L2, L3 (1B):	1.94m3	4.06m3	6m3	6m3

 $\cdot$  ALL BATHROOMS TO HAVE A min. 2400mm CLEAR CEILING HEIGHTS TO ENABLE SERVICES / EXHAUST DUCTS

· ALL MECHANICAL VENTILATION MUST COMPLY WITH F6D6 OF BCA 2022 - Volume 1, & AS1668.2-2012, SHALL BE INSTALLED IN THE BATHROOM / L'DRY OF UNITS 1 - 11. A 2.5KG ABE TYPE PORTABLE FIRE EXTINGUISHERS COMPLYING WITH AS2444-2001 SHALL BE INSTALLED ON EACH STOREY WITHIN THE PUBLIC CORRIDORS OF FOYER 1 & 2 AS REQUIRED.

EXHAUST FANS COMPLYING WITH PART J5D6 OF THE BCA 2022 - Volume 1, SHALL BE INSTALLED TO BATHROOMS OF UNITS 1 - 11.

ANY DUCT, SOIL, STORMWATER, WASTE OR WATER SUPPLY PIPE (INCLUDING A DUCT OR PIPE THAT IS LOCATED IN A WALL OR FLOOR CAVITY) SERVES OR PASSES THROUGH MORE THAN ONE SOLE-OCCUPANCY UNIT, THE DUCT OR PIPE MUST BE SEPERATED FROM THE ROOMS OF ANY SOLE-OCCUPANCY UNIT BY CONSTRUCTION WITH AN Rw + Ctr (airborne) OF NOT LESS THAN

1) 40 IF THE ADJACENT ROOM IS A HABITABLE ROOM ( OTHER THAN A KITCHEN ); OR

ADJACENT ROOM IS HABITABLE OR 25 IF NON-HABITABLE TYPICAL FOR ALL EXHAUST DUCTS: EXHAUST DUCT SELECTED BY BUILDER & INSTALLED TO MANUFACTURER'S DETAILS. TO BE BOXED IN TO SUIT.PLASTERBOARD LINING, PAINT FINISH TO MATCH WALL COLOUR

ALL HOT WATER UNITS ( HEAT PUMP ) ARE TO BE MOUNTED EXTERNALLY ON A SEPERATE CONCRETE PAD TO ALL EXTERNAL P.O.S AREAS.

## BCA STATEMENT

Building Code of Australia 2022, Volume 1 & Volume 2, Statement of Compliance

NOTE:

GENERAL PROVISIONS

• All building work will be carried out in accordance with the provisions of the Building Code of Australia 2022, relevant standards.

• Demolition works shall be in accordance with AS 2601-2001 Demolition of Structures, AS 4687 - Temporary Fencing and Hoarding's, AS 2436 Guide to Noise Control and Demolition Sites

• All demolition documentation (i.e. Architectural, Structural and Services) shall be to the satisfaction of the relevant Authorities, Local Council, Standard Codes of Practice and relevant Australian Standards noted above. · All redundant and disconnected services (i.e. mechanical, electrical, hydraulic and hydraulic services) shall be removed, capped or terminated as noted on the plans as required legally, safely and to the satisfaction of the relevant authority etc. • Any demolished items shall be removed and disposed of at an approved waste facility and not buried, burned or incinerated. Where this

includes materials such as steel, copper, brass, aluminium, electrical cabling, brick and blockwork etc. shall be disposed of at the approved waste • All demolition works shall be carried out in a manner that will not unduly affect adjacent properties, tenancies and the like, the builder shall ensure that demolition works are carried out with consideration with adjoining tenancies and occupied business premises.

STAIRWAYS AND RAMPS

• Stairs, landings and associated finishes such as balustrades, handrails, treads and risers shall comply with all relevant requirements of the BCA 2022 and AS1428.1-2009 where required. • All stairs shall have no less than 2 and no more than 18 risers in a single flight Stair splays shall comply with the relevant requirements of AS1428.1-2009

Treads, risers and handrails shall be a consistent height throughout · Where required, stairways shall have handrails on both sides, tactile indicators and nosings installed throughout in accordance with

AS1428.1-2009 requirements No openings are permitted in any stair that permits a 124mm sphere to pass through

· Where ramps installed are required to be accessible, they shall comply with BCA Part D4 and all relevant requirements under AS1428.1-2009 Where provided, balustrades shall comply with all applicable requirements of BCA Clause D3D17, D3D18, D3D19, D3D20 & D3D22.

• All floor surfaces and finishes shall comply with BCA 2022, relevant Australian Standards and HB 197 Extract, Tables 1 - 5 as well as the

• Internal ramps, slopes (greater than 2 degrees) – R10 (slip resistance) Internal stair nosings – R11 (slip resistance) · All floor finishes to be laid true and neat in accordance with the manufacturers specifications, relevant Australian Standards, Health Standards • All carpeted, vinyl and timber floor materials shall achieve the necessary Critical Radiant Flux as prescribed in BCA 2022 Clause C1.10 and

Spec C1.10. Fire hazard indices test data sheets shall be provided prior to commencement of the works. Paint or fire retardant coatings shall not be used to achieve compliance with the required fire hazard properties. • Where required, all wet area and waterproofing works shall comply with AS 3740-2010 and BCA 2022-Volume 1, Clause F2P2. The licenced installer shall provide a copy of the compliant waterproofing product prior to issue of the OC. Waterproofing membranes for external above ground use must comply with AS 4654.1-2012 and AS 4654.2-2012.

WALL SURFACES AND FINISHES All glazed assemblies and partitions shall comply with AS1288-2006

 All lightweight construction shall comply with the relevant tested system and BCA 2022-Volume 1, Clause C2D9. Builder shall provide details prior to issue of any occupation certificate • All wall and ceiling linings shall achieve the necessary Group Number as prescribed in BCA 2022-Volume 1, Clause C2D11. Fire hazard indices test data sheets shall be provided prior to commencement of the works. Paint or fire retardant coatings shall not be used to achieve compliance

SEPARATION OF EQUIPMENT / FIRE STOPPING AND SEALING

• All battery systems having a total voltage of 12 volts or more and a storage capacity of 200 kWh or more shall be separated from the remainder of the building in a 2 hour fire rated room. Applicant to confirm if batteries are proposed to kept within the tenancy and confirms the total voltage prior to issue of any approval. • Where any service penetrates a wall or floor required to have a FRL, it shall be fire sealed / stopped appropriately in accordance with

AS1530.4-2014. Copies of the tested system are to be provided prior to the issue of any OC · All electrical distribution boards installed within any corridor, hallway, lobby or the like leading to a required exit shall be enclosed in noncombustible construction and suitable smoke sealed

ACCESSIBILITY REQUIREMENTS • Signage including the international symbol for access to AS1428.1-2009 shall be provided and installed to all ground floor exits in accordance with BCA 2022 - Volume 1, Clause D4D7 • Vision strips shall be installed on all glazing that may be mistaken for a doorway or opening and installed in accordance with AS1428.1-2009 · All doors shall have a 30% luminance colour contrast between door & wall, frame or architrave. The force required to operate doors shall not

ACCESS AND EGRESS • The unobstructed height throughout shall be not less than 2m, unless at a door, which may be reduced to 1980mm in all required exits and

• The unobstructed width throughout the tenancy shall be a minimum 1m in all required exits and paths of travel to an exit · All doors within a required exit or forming part of a required exit shall open in the direction of egress · All doors within a required exit or forming part of a required exit shall have door hardware that is readily openable without the use of a key fron

• Door hardware shall be operational via a single downward action on a single device which is located between 900 – 1100mm from the FFL and be such that the hand of a person who cannot grip will not slip from the handle · Where installed, single hand pushing door hardware shall be installed at a height of 900 – 1100mm from the finished floor.

FIRE SERVICES AND EQUIPMENT • Where installed, portable fire extinguishers shall comply with AS 2444-2001 and BCA 2022 - Volume 1, Clause E1D14 All fire services signage requirements for fire hydrants and portable fire extinguishers shall be installed in accordance with AS2419.1-2005 and

• All air handling systems shall be installed to AS1668.1-2015, AS1668.2-2012 a • Smoke detection and alarm systems and BOWS shall be installed to As1670.1-2018 • Emergency lighting and exit signage shall comply with AS 2293.1-2018 and BCA 2022 - Volume 1, Clauses E4D2, E4D4, NSW E4D6, E4D8

• Exit and directional signage to comply with the following: o Exit signs will be clearly visible to persons approaching the exit and will be circuit sensing to the general lighting circuit; o Exit signs will be green with white pictorials and installed to operate continuously in the event of a power failure. o Directional exit signs will be installed in appropriate positions in corridors, hallways, lobbies, foyers and the like indicating the

CONDENSATION MANAGEMENT

direction to a required exit.

F6.2 Pliable building membrane (a) Where a pliable building membrane is installed in an external wall, it must— (i) comply with AS/NZS 4200.1-2017; and

(ii) be installed in accordance with AS 4200.2-2017; and

(iii) be a vapour permeable membrane for climate zones 6, 7 and 8; and (iv) be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope

(b) Except for single skin masonry and single skin concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

F6.3 Flow rate and discharge of exhaust systems

(a) An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow

(i) 25 L/s for a bathroom or sanitary compartment; and (ií) 40 L/s for a kitchen or laundry.

(b) Exhaust from a kitchen must be discharged directly or via a shaft or duct to outdoor air. (c) Exhaust from a bathroom, sanitary compartment, or laundry must be discharged— (i) directly or via a shaft or duct to outdoor air; or

(ii) to a roof space that is ventilated in accordance with BCA 2022 - Volume 1, F8D4. F6.4 Ventilation of roof spaces

(a) Where an exhaust system covered by BCA 2022 - Volume 1, F8D4 discharges directly or via a shaft or duct into a roof space, the roof space must be ventilated to outdoor air through evenly distributed openings

(b) Openings required by (a) must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is greater than 22°, or 1/150 of the respective ceiling area if the roof pitch is less than or equal to 22°. (c) 30% of the total unobstructed area required by (b) must be located not more than 900 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.

## THESE NOTES MUST BE READ AND UNDERSTOOD

Verify on site all survey information including all existing services & levels prior to construction

Prior to site establishment - Contractor to engage underground services search to locate all existing services within the location of the proposed

Demolish existing structures & clear all vegetation as required and/or as shown on drawings, ready for new works. Dispose of demolished building materials and asbestos material encountered during demolition, except those items specifically identified for reuse

Perform all new works in best tradesman-like manner and to the satisfaction of all relevant authorities & Australian Standards

Terminate, cap off or divert all existing services where so require and/or as necessary to carry out new works

Where any services are damaged during new works, contractor to rectify immediately to ensure full working order

Refer to structural & civil engineer's documents for details of concrete slabs steps and footings. Including sizes of structural members

Comply with landscaping requirements as required by the council conditions and/or as detailed by landscape architect

Refer to hydraulic & civil engineer's details for location and levels of all storm water pits. Uno. Connect all downpipes into nearest existing storm water system as required and/or to hydraulic & civil engineer's details. Uno. Provide fall in all ground finishes to ensure all storm water falls away from building/s. Lay paving with sufficient falls to pits & floor wastes to avoid ponding

Refer to hydraulic engineer's details for details of sewer connection. All works / connections comply with relevant authorities' requirements

exit signs, lighting, emergency lighting & telephone supply to relevant Australian Standards, authorities' requirements & electrical engineer's

mechanical exhaust fans & ducts, air conditioning units & ducts to relevant Australian standards, authorities' requirements & mechanical engineer's

Remove all redundant vehicle crossings & replaced with new concrete kerb & gutter to council's requirements. Make good to surrounds where disturbed by new works to council engineer's specification

Uno. Provide 50mm set down in floor slab to all wet areas

Repair/reinstate to a standard of new to all surfaces, damaged / effected during new construction works

At completion clean up the entire site & clean all building surfaces prior to

All exit doors & doors in the path of travel to exits are to be capable of

being operated at all times from the side facing a person seeking egress from the building with a single handed downward action or pushing action on a single device without the use of a key and located between 900mm and 1000mm above the floor level, all in accordance with the NCC / BCA & relevant Australian standards

All glazing to comply with all relevant Australian standards

Exit signs and emergency lighting to comply with all relevant Australian

to be hot dip galvanised prior to installation

Provide lift off hinges to all access toilets & toilet partitions

supporting information. Any anomalies to be brought to the

Refer to detail if provided Contractor to ensure all construction documentation is read in conjunction with all services engineer's documentation & any other provided

Provide / install flashing to all wall / roof / floor junctions as required to ensure complete watertightness to comply with the requirements of the

Provide / install waterproof deck-tite flashing & or colorbond metal back flashing to all roof penetrations to ensure complete watertightness to comply with the requirements of the NCC / BCA and relevant Australian

UNO - Contractor to provide / install all necessary colorbond metal capping, flashings & trims as required.

Should any hazardous or contaminated material be encountered, the carried out by a licensed Contractor and in accordance with EPA

Provide termite protection to perimeter of building as per Australian Standards AS 3360.1\_2014, AS 3660.2\_2017 & 3660.3\_2014. Contractor to Install selected product as per manufactures products.

# BY ALL INVOLVED IN THE PROJECT.

Contractor to ensure site safety is upheld at all times in accordance with all relevant Australian standards

Supply & install all electrical services including but not limited to, power.

Supply & install all mechanical ventilation including but not limited to,

Builder to ensure site remains tidy during construction to reduce risks

All works (including materials & workmanship) to comply with current NCC / BCA & all relevant Australian standards

All glazed balustrading to comply with all relevant Australian standards

Fire hydrant and hose reel installations to comply with all relevant Australian standards

Portable fire extinguishers to comply with all relevant Australian standards. Provide 1.5kg ABE 2A:20B:E dry chemical fire extinguisher adjacent to

Waterproofing to walls and floors in wet areas to be provided in accordance with all relevant Australian standards, NCC / BCA

Provide weatherproof sealant and backing rod to all precast joints as

All internal steelwork to be shop primed. All external / exposed steel work

Provide downpipe / service pipe guards to all downpipes & service pipes.

superintendent's attention prior to manufacture / installation.

NCC / BCA and relevant Australian standards

Contractor shall ensure that the removal and disposal of this material is

Provide subsoil drains where necessary to intercept groundwater seepage and to prevent water build up behind walls and under floors. Connect subsoil drains to the stormwater drainage system.

Basement outing below. 2) 25 IF THE ADJACENT ROOM IS A KITCHEN OR NON-HABITABLE ROOM, DUCTS AND PIPES MUST ACHIEVE AN Rw + Ctr ( airborne ) OF NO LESS THAN 40 IF THE Existing level. Refer also to survey RL 9.100 Proposed levels. Refer also to drainage drawing.

**LEGEND - SITE** 

Landscape area. Refer to Landscape Plan

Footpath, Driveway and Car Park area

CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE

PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING

SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF

Building Sustainability Index www.basix.nsw.gov.au

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments,

have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at

to be valid, this certificate must be lodged within 3 months of the date of issue

Multi Dwelling

www.basix.nsw.gov.au

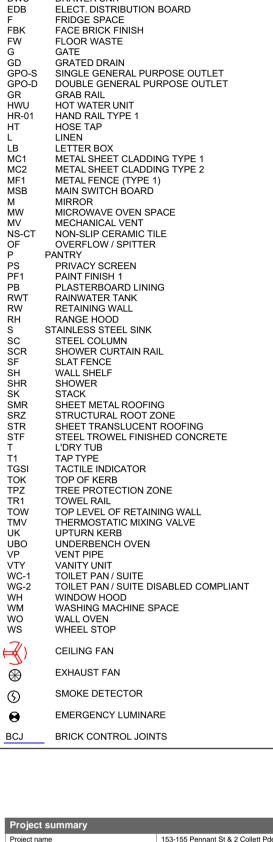
Date of issue: Thursday, 08 June 2023

Certificate number: 1387861M

Turf area to council strip. Refer to Landscape Plan

- · - Extent of site boundary

CEILING ACCESS PANEL CLOTHES HOOK COOKTOP Existing trees to remain. Refer also to Arborist report CERAMIC TILES COMPLETE WITH DOWNPIPE & SPREADER Existing trees to be removed. Refer also to Arborist report DISH WASHER SPACE DRAWER UNIT ELECT. DISTRIBUTION BOARD Stormwater pit. Refer also to drainage documents FRIDGE SPACE FACE BRICK FINISH FLOOR WASTE GRATED DRAIN HOT WATER UNIT **LEGEND - DEMOLITION** HAND RAIL TYPE 1 HOSE TAP -·- - EXTENT OF SITE BOUNDARY LETTER BOX METAL SHEET CLADDING TYPE 1 METAL SHEET CLADDING TYPE 2 EXISTING STRUCTURES TO BE DEMOLISHED. METAL FENCE (TYPE 1) REPAIR & REINSTATE ADJOINING SURFACES. MAIN SWITCH BOARI MIRROR MICROWAVE OVEN SPACE MECHANICAL VENT NON-SLIP CERAMIC TILE EXISTING SITE WORKS TO BE REMOVED / **OVERFLOW / SPITTER** DEMOLISHED PRIVACY SCREEN PAINT FINISH 1 PLASTERBOARD LINING **RAINWATER TANK** EXISTING TREES TO REMAIN. REFER ALSO TO RETAINING WALL RANGE HOOD LANDSCAPE DRAWING STAINLESS STEEL SINK STEEL COLUMN SHOWER CURTAIN RAII SLAT FENCE EXISTING TREES TO BE REMOVED. REFER ALSO WALL SHELF TO LANDSCAPE DRAWING. SHOWER STACK SHEET METAL ROOFING STRUCTURAL ROOT ZONE SHEET TRANSLUCENT ROOFING + & EXISTING LEVELS TAP TYPE TACTILE INDICATOR TOP OF KERB TREE PROTECTION ZONE PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING TOWEL RAIL AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS TOP LEVEL OF RETAINING WALL UNDER THE CONTRACT. THERMOSTATIC MIXING VALVE UPTURN KERB NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS. UNDERBENCH OVEN **VENT PIPE** PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE VANITY UNIT MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE TOILET PAN / SUITE SCREENS, SHEETING AND THE LIKE. WINDOW HOOD WASHING MACHINE SPACE REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING. WHEEL STOP EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE **CEILING FAN** COURSE OF THE DEMOLITIONS. EXHAUST FAN BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES



**LEGEND - ABBREVIATIONS** 

BROOM FINISH CONCRETE

VANITY BASIN

BRICK PIFR

**BROOM CUPBOARD** 

BALCONY OUTLET

BATTEN SCREEN

CARPET AS SPECIFIED CLOTHES LINE

BALUSTRADE type 1

BSN-2

AWNING OVER WINDOW (METAL)

BOTTOM LEVEL OF RETAINING WALL

COLORBOND FENCE (1800mm HIGH)

WALL HUNG BASIN - DISABLE COMPLIANT

deposited 35120 Plan type and plan number No. of residential flat buildings No. of units in residential flat buildings No. of multi-dwelling houses

**V** 40

**V** 61

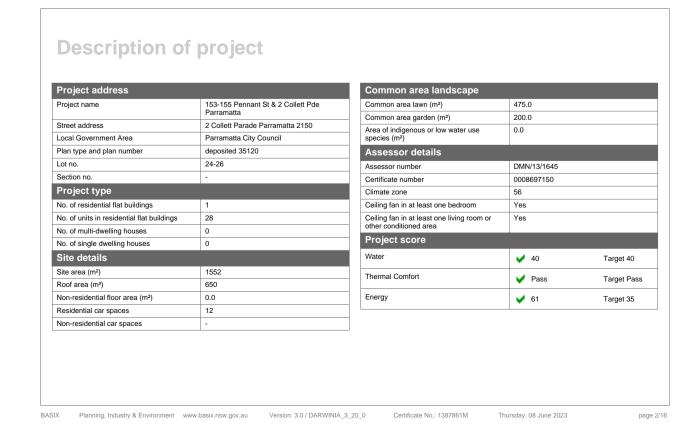
Target 40

Target Pass

Target 35



BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA\_3\_20\_0 Certificate No.: 1387861M Thursdav. 08 June 2023



Job Reference	BGYMW					
Locality / Suburb	Parramatta					
Street Address	2 Collett Parade	& 153 - 155 Pennant Stre	eet, Parramatta			
Lot No. & DP	Lots 24,25 & 26 i	n DP 35120				
Site Area		1552.1	m2			
GFA Maximum PELP 2011 / Housing SEPP Cl.17	2,017.73m2					
GFA Provided	1974.88m2					
Total 1 Bed Units	20		71%			
Total 2 Bed Units	8		29%			
Total Number of Units	28					
	Control	Required	Proposed	Complie		
Setbacks						
	Parramatta	Em Om				

6m

3m - 5m

6m

3m (Collett Pde)

Yes

Yes

DCP2011

Parramatta

Parramatta

DCP2023

DCP2011

DCP2023

Parramatta

Clause 3F-1.3

Clause 3F-1.1

Parramatta

Secondary

Height		DCP201	1	11m		13.55m		No
FSR		PELP 20 Housing	•	MAX - 2,017.73m2 (1.3:1)	2	1975.79m2 (1.27:1)	1	Yes
includin	site area	Cl.17  Housing Clause 18(2)(C) for privalent	(rate	465.63m2		491.96m2 (31. softscape only 642.23m2 (41. softscape & hardsc	y .3%)	) Yes
(7% of s	Deep Soil Zone: ADG 7% of site area Clause 3E-1.1		•	7% of site area, 6m min. dim (108.65m2)		3m min. dim 254.96m2 (16. 6m min. dim	n: .4%)	) ) ) No
	n2) Inal Open	ADG Clause 4	↓F-1.1	25% of site area (388m2)	Y	0m2 (0%) 391m2		Yes
Space Solar Ac	ccess:			(70%) 19.6 units				Yes
to recei hours o	ve 2 f direct to living	ADG Clause 4	IA-1	(15%max. Units to receive no direct sunlight) 4.2 units		24 (85.7%) 4 (14.3%)		Yes
Solar Ad (70% of to recei hours o	ccess: dwellings ve 3 f direct to living	Housing Clause 1		(70%) 19.6 units		20 (71.5%)		Yes
to recei	dwellings ve 3 f direct to living	LAHC Do	_	(70%) 19.6 units		20 (71.4%)		Yes
Natural Ventilat (60% of apartmenturall ventilat	ion: ents are y cross	ADG Clause 4	ŀB-3.1	(60%) 16.8 Units		24		Yes
	,			1 bed - 0.4 spaces: 2 0.4 = 8	0 x	8		Yes
Car Parl	king	Housing Clause 1		2 bed - 0.5 spaces: 0.5 = 4	8 x	4		Yes
4 D 4 D 7	4531			12		12		Yes
APARTI Name	Level		Nur	mber of bedrooms	1	nternal Area (m	2)	POS (m
GF:U1	Ground F	loor	1101	1	<u> </u>	52.09	_,	17.71
GF:U2	Ground F			1		50.50		16.41
GF:U3	Ground F	loor		1		52.25		16.31
GF:U4	Ground F	loor		2		77.68		15.47
GF:U5	Ground F	loor		2		71.07		18.83
GF:U6	Ground F	loor		1		50.79		8.83
GF:U7	Ground F	loor		1		50.79		17.79
L1:U1	Level 01			1		52.87		9.82
L1:U2	Level 01			1		50.50		8.21
L1:U3	Level 01			1	1	52.25		8.32
L1:U4	Level 01			2	1	77.68		10.77
L1:U5	Level 01			2		71.07		10.69
L1:U6	Level 01			1		50.79		8.83
L1:U7	Level 01			1		50.79		8.83
L2:U1	Level 02			1		52.87		9.82
L2:U1 L2:U2	Level 02			<u> </u>	1	50.50		8.21
L2:U2	Level 02			1	1	52.25		8.21
L2:U4	Level 02			2	1	77.68		10.77
L2:U5			2		71.07		10.77	
L2:U6	Level 02			1	1	50.79		8.83
L2:U7	Level 02			1		50.79		8.83
L3:U1	Level 03			1		52.87		9.82
L3:U2	Level 03			1		50.50		8.21
L3:U3	Level 03			1		52.25		8.32
L3:U4	Level 03			2		77.68		10.77
L3:U5	Level 03			2		71.07		10.69
L3:U6	Level 03			1		50.79		8.83
L3:U7	Level 03			1		50.79		8.83
					1			
				l	STATUS:	חבו יבי סב		T
						DEVELOP		
					DATE:	SCALE:	PR	OJ:
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HYDRAULIC **NOITA** DTA Architects Ptv Ltd Abel & Brown Pty Ltd DATA SHEET **GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** PH (02) 9601 1011 PH (02) 9709 5705 022.013 PROJECT MANAGE ELECTRICAL / BASIX CONSULTANT HOMES NSW Greenview Consulting Pty Ltd LOTS 24,25 & 26 DP 35120 PH 1800 738 718 PH (02) 8544 1683 153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTANSW 2150 STRUCTURAL / CIVIL / STORMWATER LANDSCAPE CONSULTANT CAD File: S:\Data3\2022\2022.013.LAHC.2 Collett Pde Parramatta\3.Design\3.2 DA\2022013.LAHC.Parramatta.DA.04.pln 8/08/2024 MSL Consulting Engineers Pty Ltd Ray Fuggle & Associated Pty Ltd DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. 5:14 PM PH (02) 4226 5247 PH 0412 294 712 FIGURED DIMENSIONS TAKE PRECEDENCE



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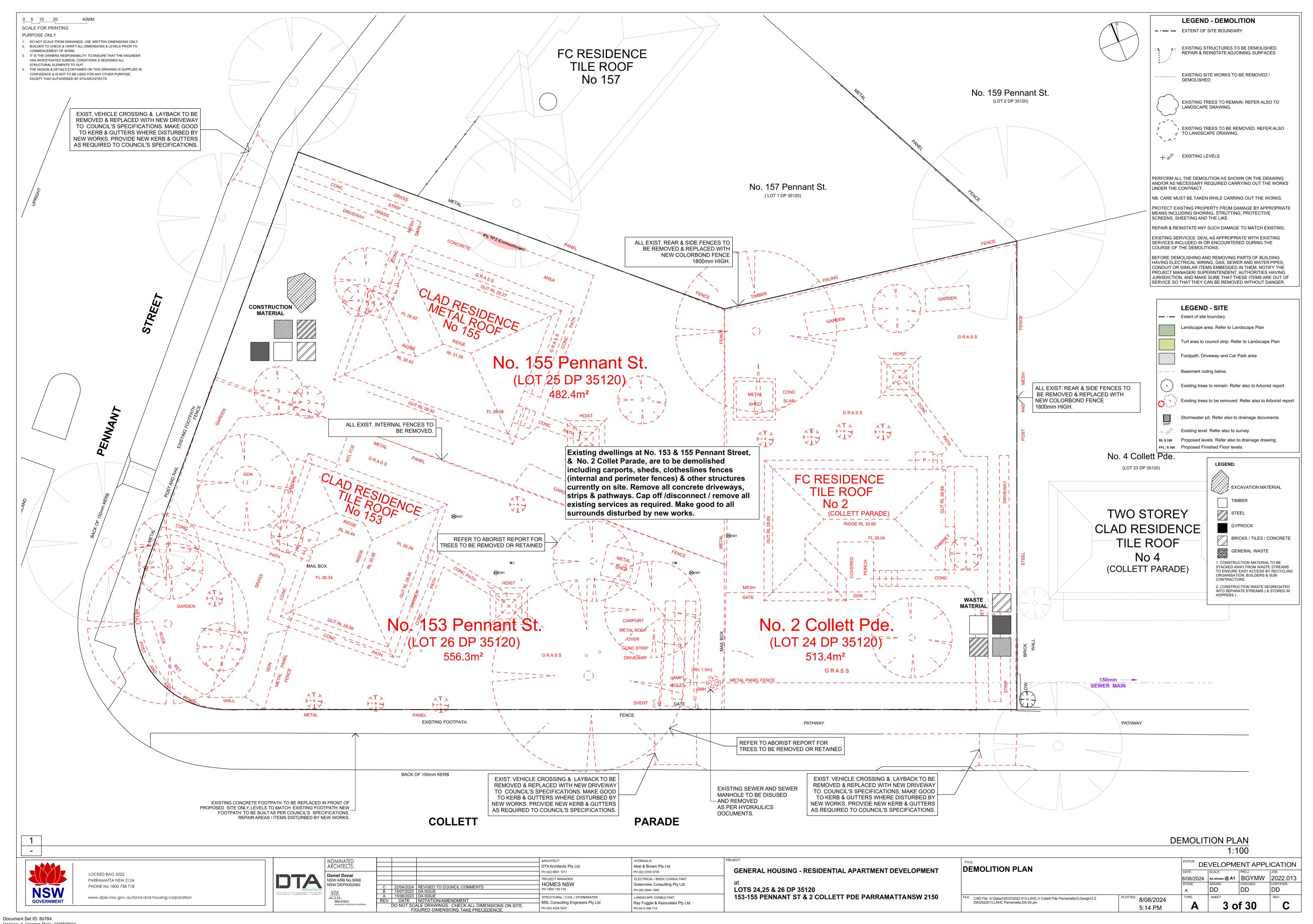
Daniel Donai

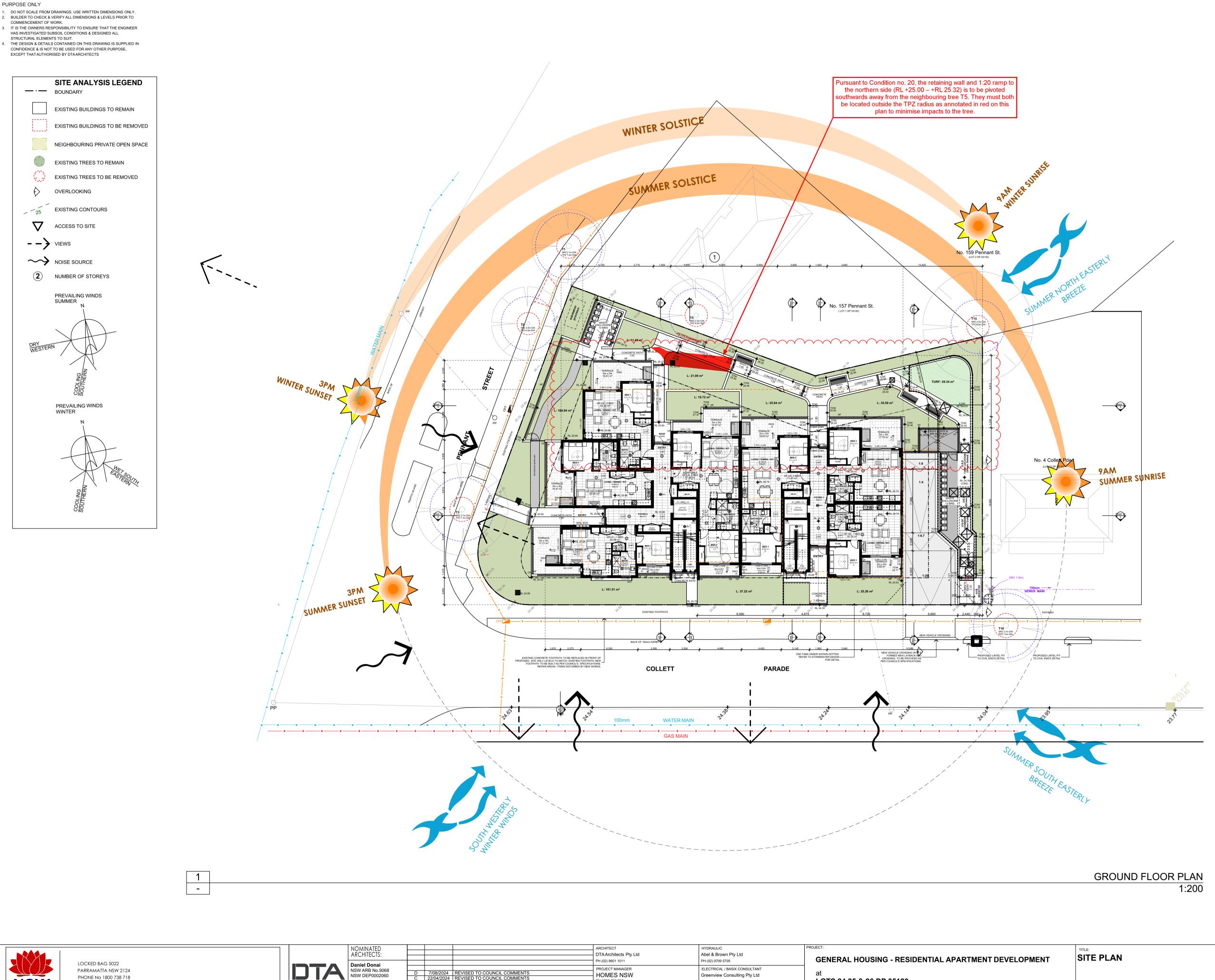
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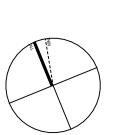
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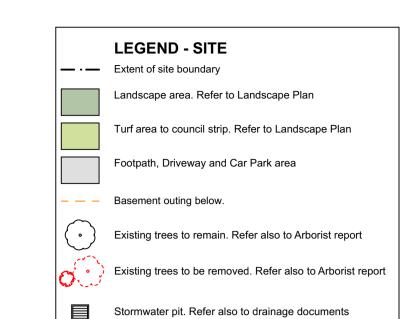
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LOTS 24,25 & 26 DP 35120

153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTANSW 2150





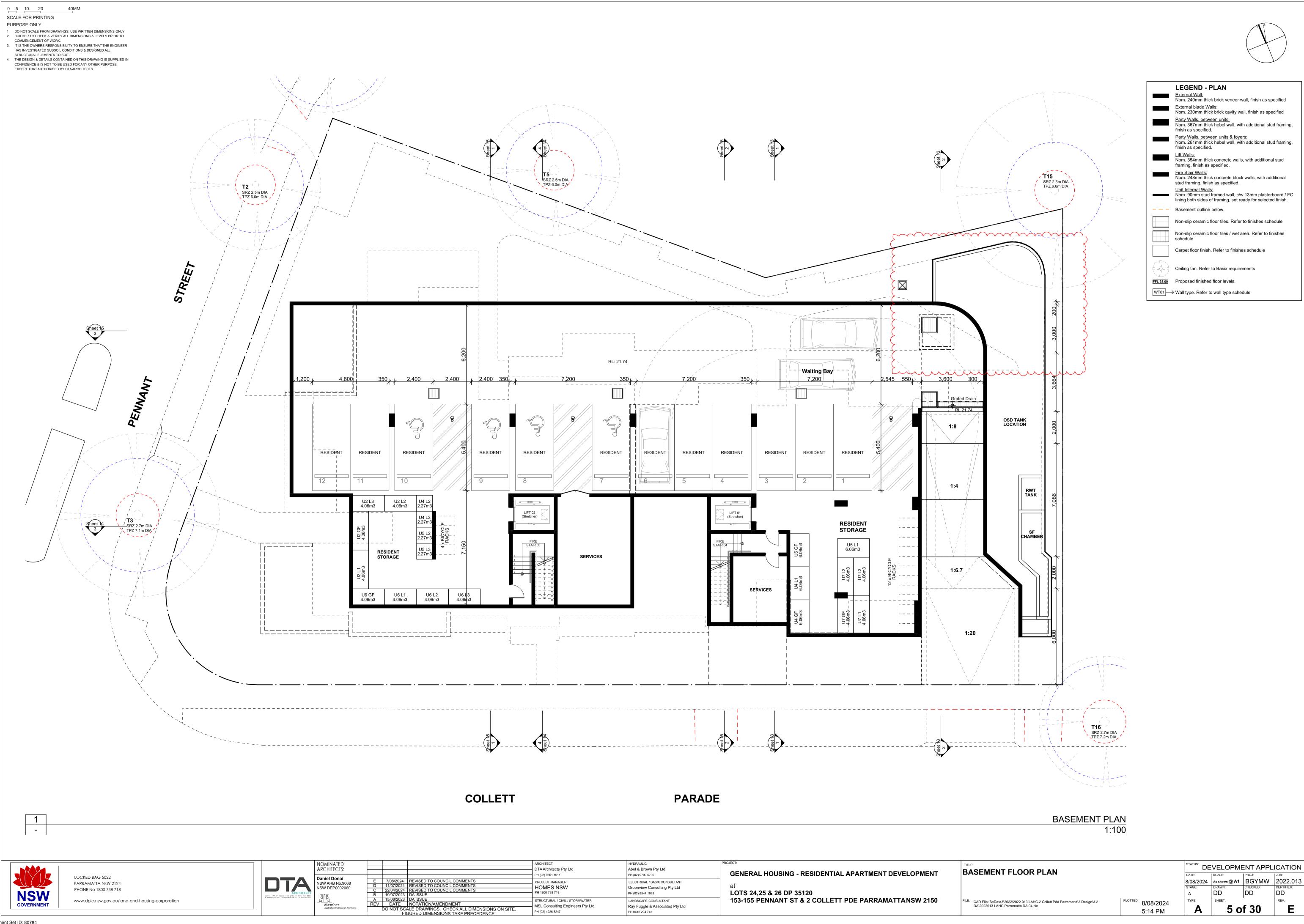
Existing level. Refer also to survey RL 9.100 Proposed levels. Refer also to drainage drawing.

**NSW** 

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Nom. 354mm thick concrete walls, with additional stud BOLLARD BATTEN SCREEN CARPET AS SPECIFIED framing, finish as specified. CLOTHES LINE COLORBOND FENCE (1800mm HIGH) Fire Stair Walls: Nom. 248mm thick concrete block walls, with additional CEILING ACCESS PANEL CLOTHES HOOK stud framing, finish as specified. COOKTOP Unit Internal Walls: CERAMIC TILES Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC COMPLETE WITH lining both sides of framing, set ready for selected finish. DOWNPIPE DOWNPIPE & SPREADER DISH WASHER SPACE DRAWER UNIT ELECT. DISTRIBUTION BOARD Basement outline below. Non-slip ceramic floor tiles. Refer to finishes schedule FRIDGE SPACE FACE BRICK FINISH FLOOR WASTE Non-slip ceramic floor tiles / wet area. Refer to finishes GATE GRATED DRAIN schedule GPO-S SINGLE GENERAL PURPOSE OUTLET GPO-D DOUBLE GENERAL PURPOSE OUTLET GR GRAB RAIL Carpet floor finish. Refer to finishes schedule HWU HR-01 HT HOT WATER UNIT HAND RAIL TYPE 1 HOSE TAP Ceiling fan. Refer to Basix requirements LETTER BOX FFL 35.00 Proposed finished floor levels. METAL SHEET CLADDING TYPE 1 BALCONY METAL SHEET CLADDING TYPE 2 METAL SHIELT OD 105 111 1 METAL FENCE (TYPE 1) MAIN SWITCH BOARD MICROWAVE OVEN SPACE MECHANICAL VENT NON-SLIP CERAMIC TILE OVERFLOW / SPITTER PANTRY PRIVACY SCREEN PAINT FINISH 1 PLASTERBOARD LINING L1:U3 - 2 BED /52.25 m<sup>2</sup> RAINWATER TANK RETAINING WALL RANGE HOOD STAINLESS STEEL SINK STEEL COLUMN BALCONY 3.9x3.0 10.77 m<sup>2</sup> SHOWER CURTAIN RAIL SLAT FENCE WALL SHELF 2m x 2m BALCONY 3.9x3.0 10.69 m<sup>2</sup> SHOWER STACK SHEET METAL ROOFING STRUCTURAL ROOT ZONE 2,400 x 2,400 BALCONY SHEET TRANSLUCENT ROOFING STEEL TROWEL FINISHED CONCRETE L'DRY TUB 2,700 x 2,400 2.400 x 2.400 TACTILE INDICATOR
TOP OF KERB
TREE PROTECTION ZONE BED 2 TOWEL RAIL
TOP LEVEL OF RETAINING WALL THERMOSTATIC MIXING VALVE UNDERBENCH OVEN VENT PIPE → ROBE +++ RL 28.76 TOILET PAN / SUITE TOILET PAN / SUITE DISABLED COMPLIANT WC-1 WG-2 L1:U5- 2 BED \ ⑤ 71.07 m<sup>2</sup> WINDOW HOOD LIVING / DINING / KIT WASHING MACHINE SPACE WALL OVEN WHEEL STOP CEILING FAN EXHAUST FAN SMOKE DETECTOR **EMERGENCY LUMINARE** BCJ BRICK CONTROL JOINTS BALCONY 9.82 m<sup>2</sup> 2,400 x 2,400 BALCONY 8.83 m<sup>2</sup> 2 LEVEL 01 FLOOR PLAN 1:100 NOMINATEI ARCHITECTS HYDRAULIC DEVELOPMENT APPLICATION DTA Architects Pty Ltd Abel & Brown Pty Ltd **LEVEL 01 FLOOR PLAN GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** PH (02) 9601 1011 PH (02) 9709 5705 LOCKED BAG 5022 Daniel Donai PROJECT MANAGER ELECTRICAL / BASIX CONSULTANT NSW ARB No.9068 NSW DEP0002060 PARRAMATTA NSW 2124 HOMES NSW PH 1800 738 718 Greenview Consulting Pty Ltd PHONE No 1800 738 718

PH (02) 8544 1683

PH 0412 294 712

LANDSCAPE CONSULTANT

Ray Fuggle & Associated Pty Ltd

STRUCTURAL / CIVIL / STORMWATER

PH (02) 4226 5247

MSL Consulting Engineers Pty Ltd

LOTS 24,25 & 26 DP 35120

153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTANSW 2150

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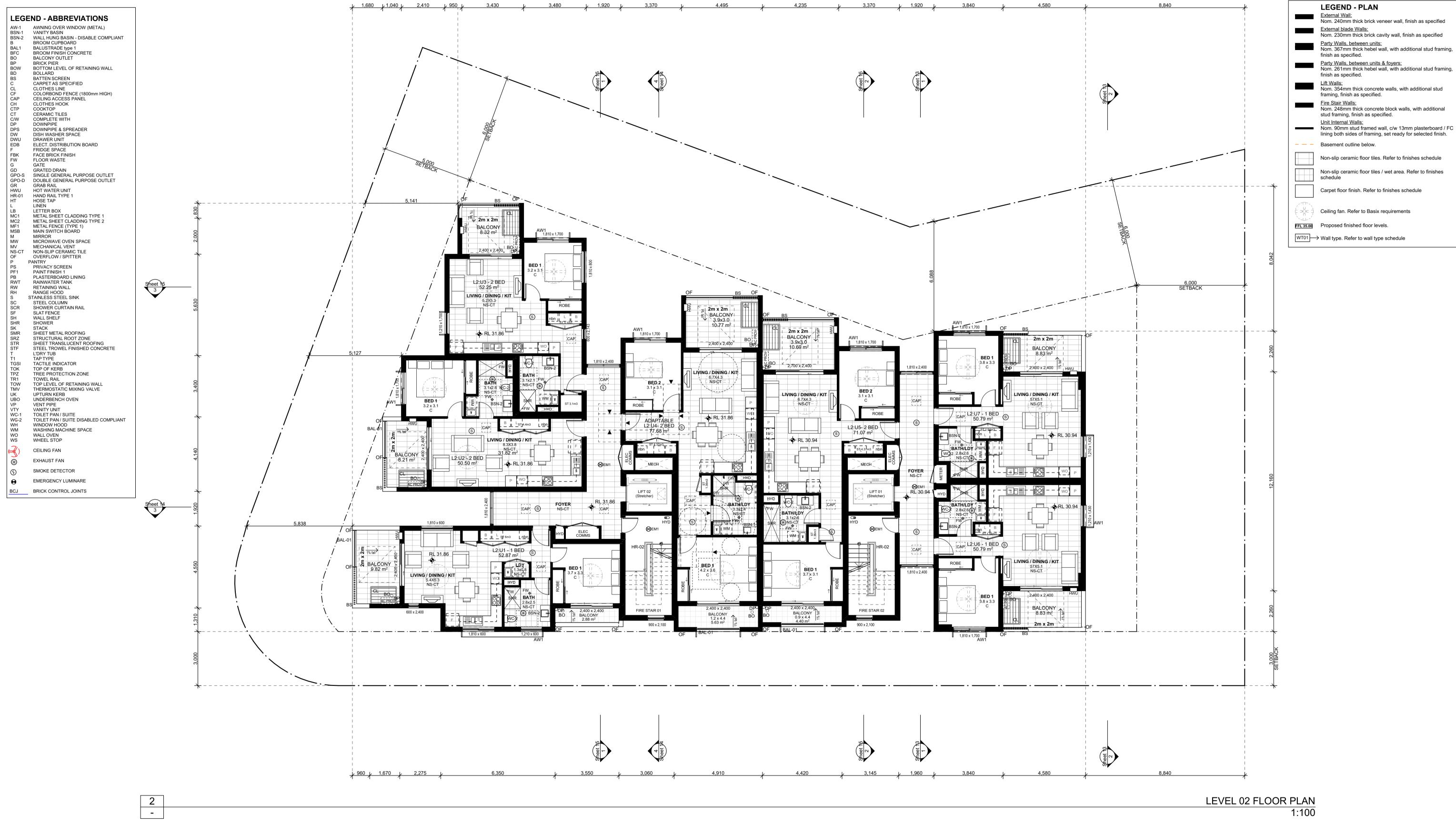
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DOUBLE GENERAL PURPOSE OUTLET HOT WATER UNIT HAND RAIL TYPE 1 HOSE TAP LINEN LETTER BOX METAL SHEET CLADDING TYPE 1 METAL SHEET CLADDING TYPE 2 METAL FENCE (TYPE 1) MAIN SWITCH BOARD MIRROR MICROWAVE OVEN SPACE





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NOMINATED ARCHITECTS HYDRAULIC DTA Architects Pty Ltd Abel & Brown Pty Ltd PH (02) 9601 1011 PH (02) 9709 5705 Daniel Donai PROJECT MANAGER ELECTRICAL / BASIX CONSULTANT NSW ARB No.9068 HOMES NSW PH 1800 738 718 Greenview Consulting Pty Ltd NSW DEP0002060 PH (02) 8544 1683 STRUCTURAL / CIVIL / STORMWATER LANDSCAPE CONSULTANT REV DATE NOTATION/AMENDMENT

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**LEVEL 02 FLOOR PLAN** CAD File: S:\Data3\2022\2022.013.LAHC.2 Collett Pde Parramatta\3.Design\3.2 DA\2022013.LAHC.Parramatta.DA.04.pln 8/08/2024 5:14 PM

**GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** 

153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTANSW 2150

LOTS 24,25 & 26 DP 35120

DEVELOPMENT APPLICATION 8/08/2024 | As shown @ A1 | BGYMW | 2022.013 DD DD DD 8 of 30

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Nom. 354mm thick concrete walls, with additional stud CARPET AS SPECIFIED CLOTHES LINE
COLORBOND FENCE (1800mm HIGH) framing, finish as specified. CEILING ACCESS PANEL Fire Stair Walls: CLOTHES HOOK COOKTOP Nom. 248mm thick concrete block walls, with additional CERAMIC TILES stud framing, finish as specified. COMPLETE WITH Unit Internal Walls: DOWNPIPE Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC DOWNPIPE & SPREADER lining both sides of framing, set ready for selected finish. DISH WASHER SPACE DRAWER UNIT Basement outline below. ELECT. DISTRIBUTION BOARD FRIDGE SPACE FACE BRICK FINISH Non-slip ceramic floor tiles. Refer to finishes schedule FLOOR WASTE GD GPO-S GPO-D GR HWU HR-01 HT GATE GRATED DRAIN Non-slip ceramic floor tiles / wet area. Refer to finishes SINGLE GENERAL PURPOSE OUTLET schedule DOUBLE GENERAL PURPOSE OUTLET GRAB RAIL Carpet floor finish. Refer to finishes schedule HOT WATER UNIT HAND RAIL TYPE 1 HOSE TAP LINEN LETTER BOX L LB MC1 MC2 MF1 MSB M MW MV NS-CT Ceiling fan. Refer to Basix requirements METAL SHEET CLADDING TYPE 1 METAL SHEET CLADDING TYPE 2 FFL 35.00 Proposed finished floor levels. BALCONY 8.32 m METAL FENCE (TYPE 1) MAIN SWITCH BOARD **MIRROR** MICROWAVE OVEN SPACE MECHANICAL VENT NON-SLIP CERAMIC TILE OVERFLOW / SPITTER PANTRY PRIVACY SCREEN PAINT FINISH 1 PLASTERBOARD LINING L3:U3 - 2 BED /52.25 m<sup>2</sup> Sheet 15 RAINWATER TANK RETAINING WALL RANGE HOOD STAINLESS STEEL SINK SC SCR SF SH SHR SK SMR SRZ STR STF T SHOWER CURTAIN RAIL SLAT FENCE BALCONY 3.9x3.0 10.77 m<sup>2</sup> WALL SHELF SHOWER STACK 2m x 2m BALCONY 3.9x3.0 10.69 m<sup>2</sup> SHEET METAL ROOFING STRUCTURAL ROOT ZONE SHEET TRANSLUCENT ROOFING 2,400 x 2,400 BALCONY 8.83 m<sup>2</sup> STEEL TROWEL FINISHED CONCRETE L'DRY TUB TAP TYPE T1
TGSI
TOK
TPZ
TR1
TOW
TMV
UK
UBO
VP
VTY
WC-1
WG-2
WH
WM
WO
WS TACTILE INDICATOR 2,700 x 2,400 TOP OF KERB
TREE PROTECTION ZONE BED 2 TOP LEVEL OF RETAINING WALL THERMOSTATIC MIXING VALVE UPTURN KERB LIVING / DINING / KIT UNDERBENCH OVEN VENT PIPE VANITY UNIT → ROBE TOILET PAN / SUITE TOILET PAN / SUITE DISABLED COMPLIANT -**\(\phi\**-\) RL 34.96 S 23:U5- 2 BED 71.07 m<sup>2</sup> WINDOW HOOD WASHING MACHINE SPACE WALL OVEN LIVING / DINING / KIT -**+** RL 34.04 WHEEL STOP CEILING FAN EXHAUST FAN  $\otimes$ SMOKE DETECTOR EMERGENCY LUMINARE BCJ BRICK CONTROL JOINTS Sheet 14 BED 1 3.7 x 3.1 2,400 x 2,400 BALCONY 8.83 m² LEVEL 03 FLOOR PLAN 1:100 NOMINATED ARCHITECTS HYDRAULIC

DTA Architects Pty Ltd

PH (02) 9601 1011

PROJECT MANAGER

HOMES NSW PH 1800 738 718

PH (02) 4226 5247

STRUCTURAL / CIVIL / STORMWATER

MSL Consulting Engineers Pty Ltd

Daniel Donai

NSW ARB No.9068

NSW DEP0002060

Abel & Brown Pty Ltd

ELECTRICAL / BASIX CONSULTANT

Greenview Consulting Pty Ltd

Ray Fuggle & Associated Pty Ltd

LANDSCAPE CONSULTANT

PH (02) 9709 5705

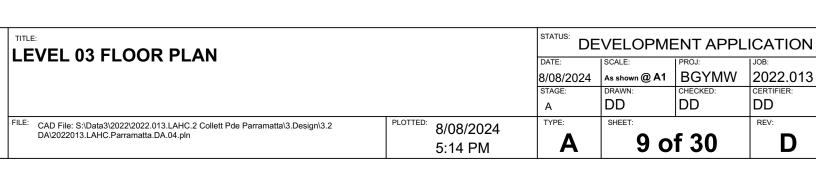
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PH 0412 294 712

**GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** 

153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTANSW 2150

LOTS 24,25 & 26 DP 35120



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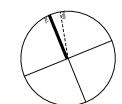
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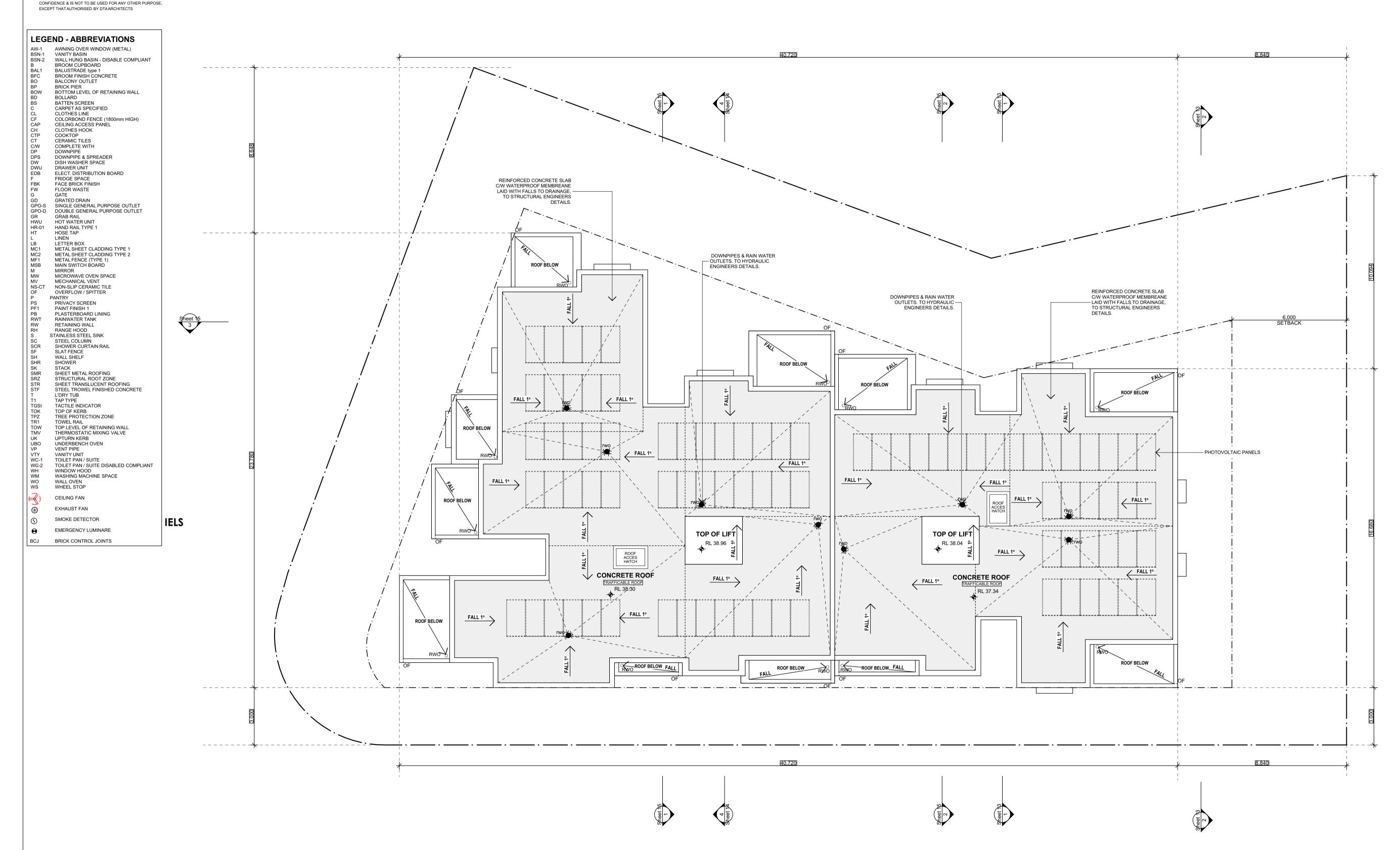
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2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.

3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.

THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN





GENERAL ROOF NOTES

an approved sub-contractor

Location & size of roof mounted exhaust to be confirmed by mechanical sub-contractor

Natural & mechanical ventilation to warehouse in accordance with BCA requirements & to relevant Australian

All service penetrations through dektites in back trays only

with 1 service per dektite

Translucent roof sheeting, profile to match roof sheeting & to be trafficable for maintenance access.

ROOF SAFETY FALL ARREST SYSTEM INSTALLED BY BUILDER roof safety fall arrest system in accordance with relevant Australian Standards & Codes. To be installed & certified by

Contractor to have relevant consultant design and install roof safety fall arrest systems.

Roof ladders & platforms visiable from the street are to be

Provide 1200 high prefabricated 5mm thick plate downpipe

protectors to hardstand areas only

A7 Maintenance to roof, eaves, box gutter & sumps
Recommended period for & nature of inspection: Monthly

Recommended period for & nature of inspection: Monthly inspection for foreign objects & rubbish build up in gutters & sumps.

sumps.
Recommended maintenance:
Clear out gutters & sumps, remove foreign objects. Where risk of fall is encountered, maintenance to be carried out from a boom lift or using approved removable roof anchor

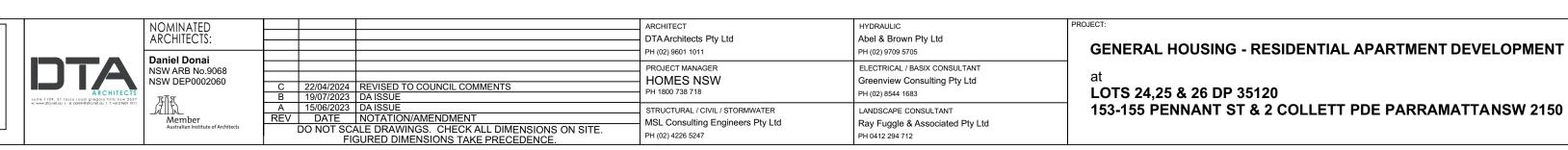
 2000.All maintenance inspections to be carried in accordance with the building owner or occupier,s occupational health & safety (OHS) procedure & relevant work method statements.

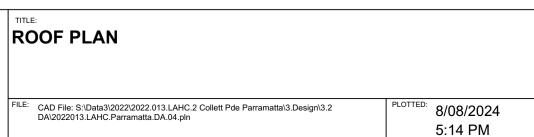
clamps & fall arrest harnesses in accordance with AS1891.4

A8 Roof Access

Where access ladders are not available, boom lifts to be used to access the warehouse/factory roof in accordance to the builder owner or occupiers OHS procedures & relevant work method statement. Maintenance required within 2m of the roof edge to be carried out using AEGIS saftey' relocatable roof anchor clamp or equivalent in accordance to AS1891.4 - 2000 & the building owner or occupier's procedures.







**ROOF PLAN** 

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Abel & Brown Pty Ltd

ELECTRICAL / BASIX CONSULTANT

Greenview Consulting Pty Ltd

Ray Fuggle & Associated Pty Ltd

LANDSCAPE CONSULTANT

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PH (02) 8544 1683

PH 0412 294 712

DTA Architects Pty Ltd

PH (02) 9601 1011

HOMES NSW PH 1800 738 718

PH (02) 4226 5247

STRUCTURAL / CIVIL / STORMWATER

MSL Consulting Engineers Pty Ltd

NSW ARB No.9068 NSW DEP0002060

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**ELEVATIONS** 

**GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** 

153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTANSW 2150

LOTS 24,25 & 26 DP 35120

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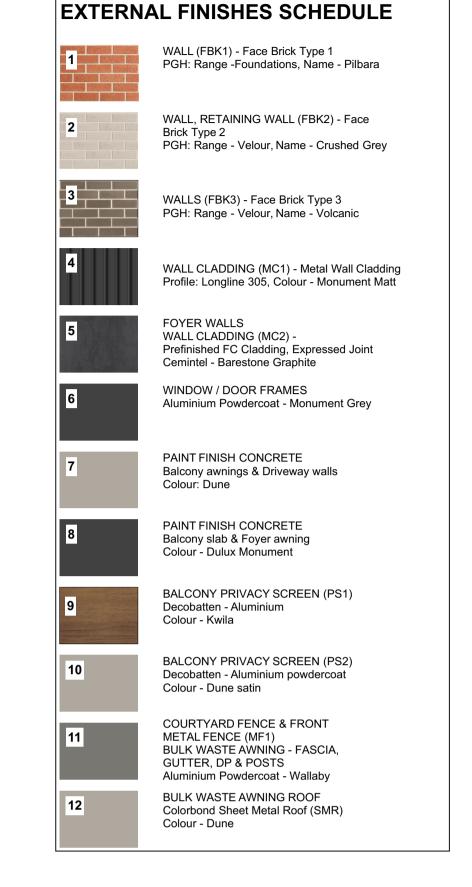
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  4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY DTA ARCHITECTS









NOMINATED				ARCHITECT	HYDRAULIC	PRO	
	ARCHITECTS:				DTA Architects Pty Ltd	Abel & Brown Pty Ltd	
	Daniel Donai				PH (02) 9601 1011	PH (02) 9709 5705	
NSW ARB No.9068 NSW DEP0002060				PROJECT MANAGER	ELECTRICAL / BASIX CONSULTANT		
	D		REVISED TO COUNCIL COMMENTS	HOMES NSW	Greenview Consulting Pty Ltd		
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Member Australian Institute of Architects	REV		NOTATION/AMENDMENT	MSL Consulting Engineers Pty Ltd	Ray Fuggle & Associated Pty Ltd		
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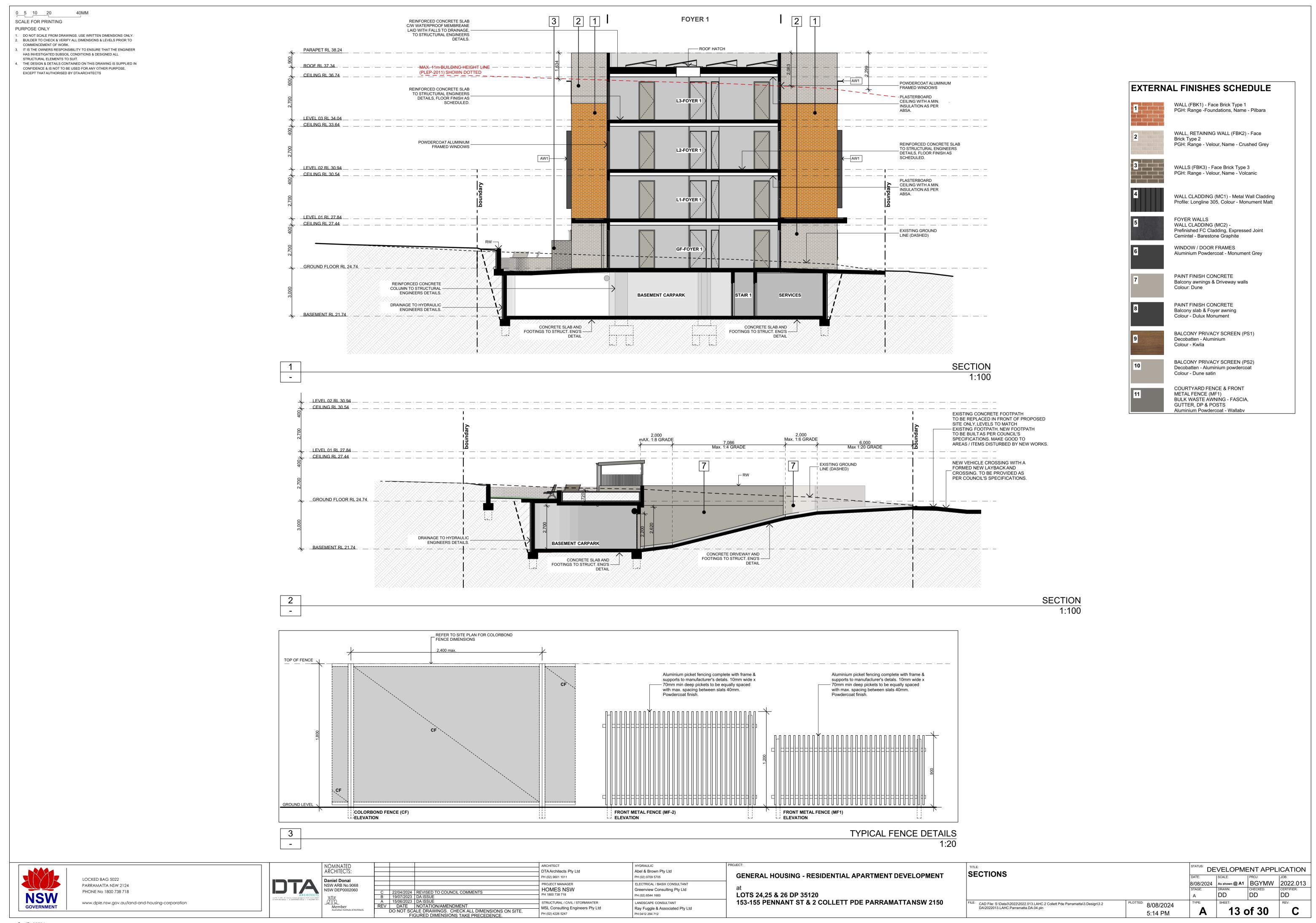
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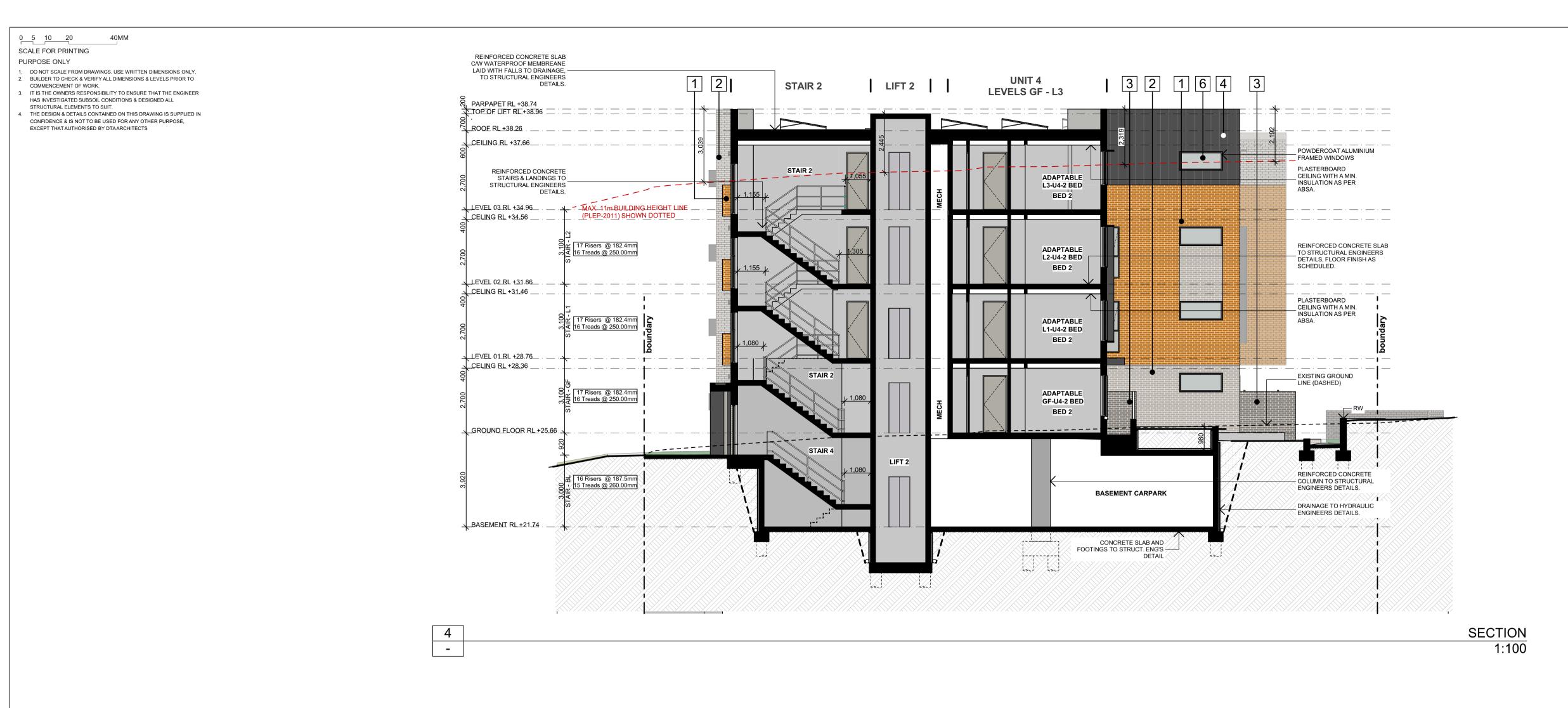
**GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** 

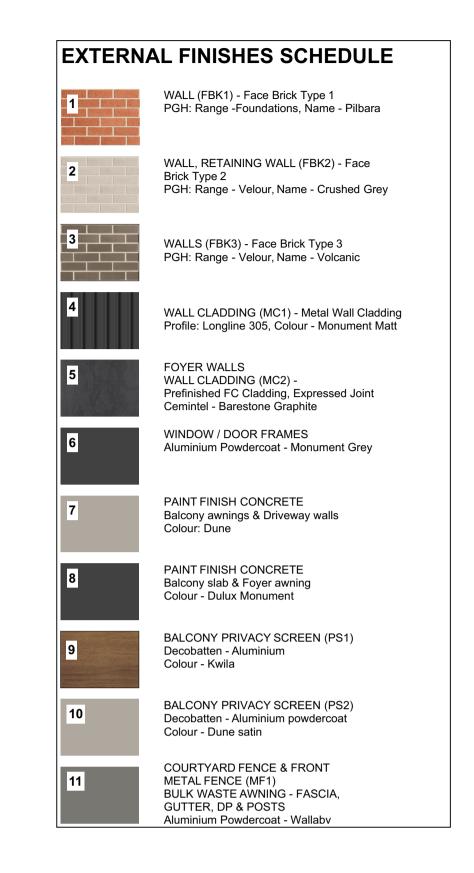
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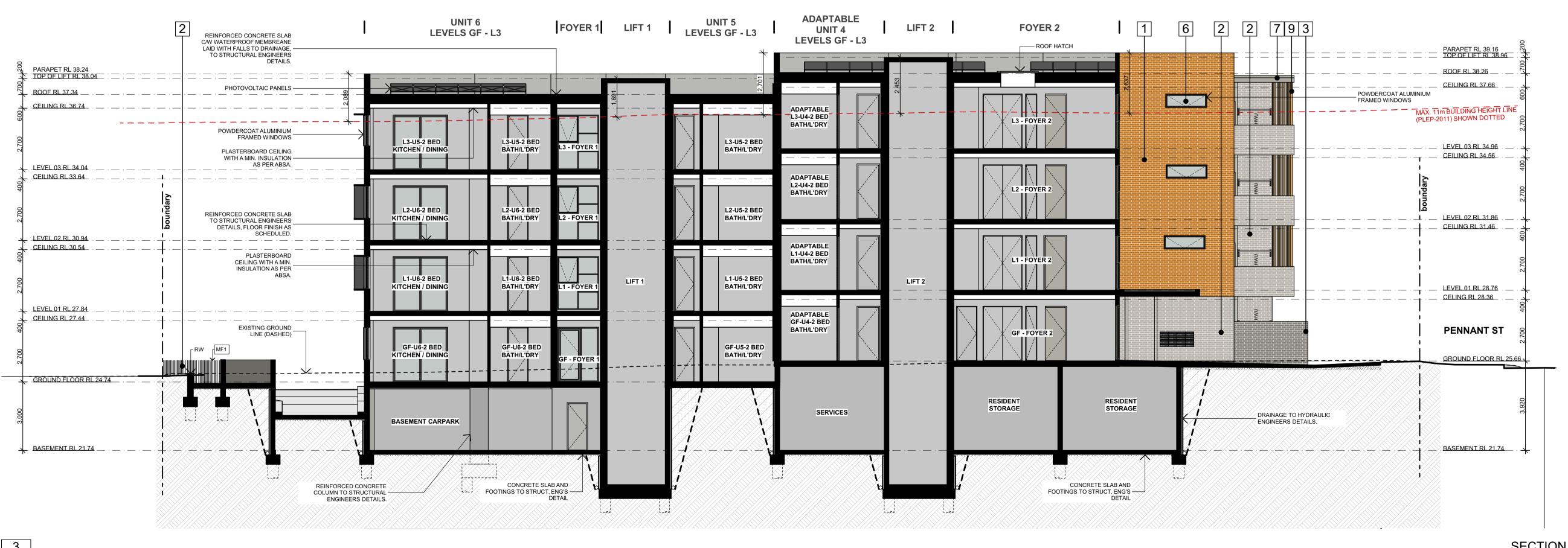
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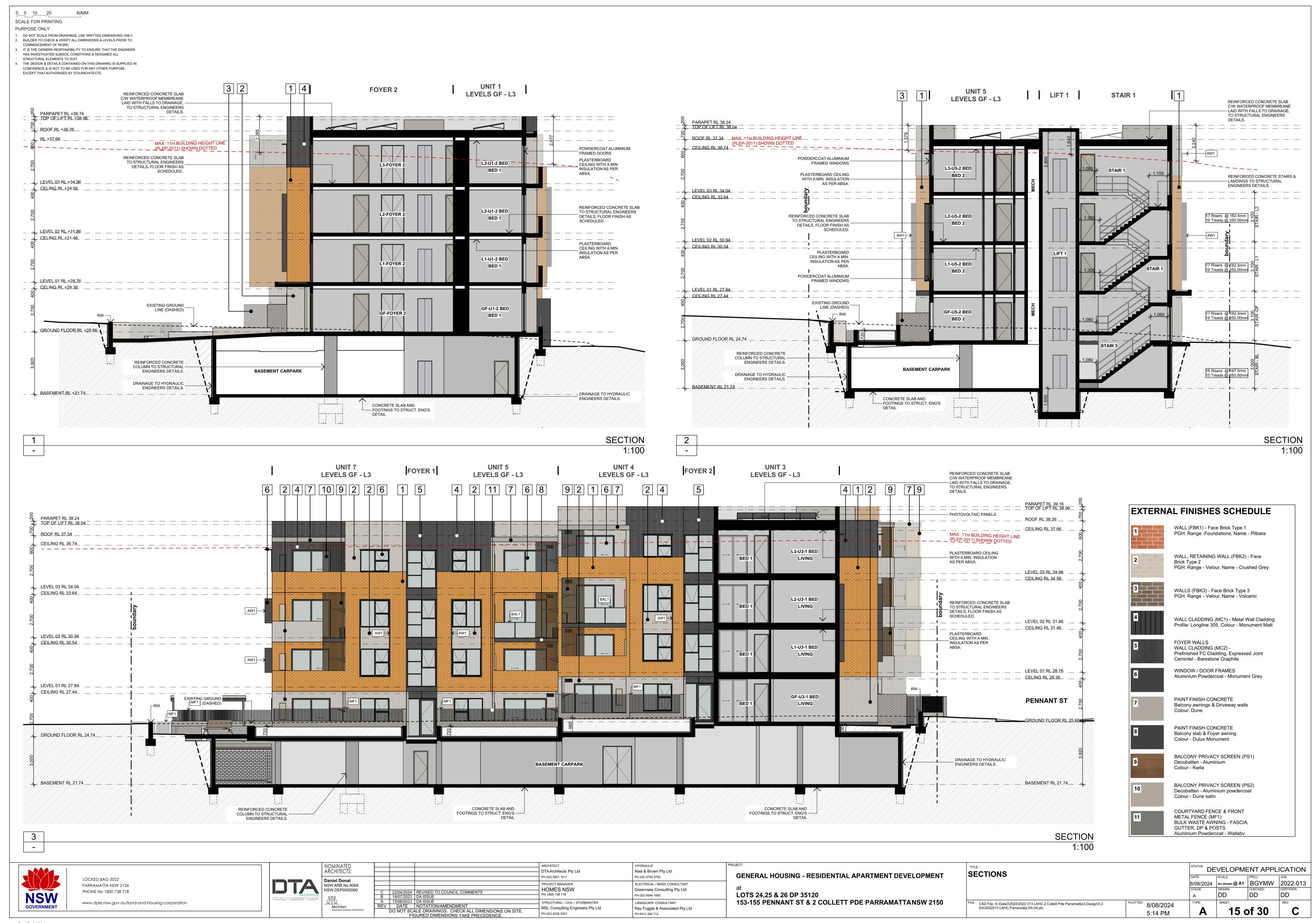








SECTION NOMINATED ARCHITECTS ARCHITECT HYDRAULIC DEVELOPMENT APPLICATION DTA Architects Pty Ltd Abel & Brown Pty Ltd SECTIONS **GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** PH (02) 9601 1011 PH (02) 9709 5705 LOCKED BAG 5022 Daniel Donai 8/08/2024 | As shown @ A1 | BGYMW | 2022.013 PROJECT MANAGER ELECTRICAL / BASIX CONSULTANT PARRAMATTA NSW 2124 NSW ARB No.9068 HOMES NSW PH 1800 738 718 Greenview Consulting Pty Ltd NSW DEP0002060 PHONE No 1800 738 718 B 19/07/2023 DA ISSUE
A 15/06/2023 DA ISSUE
REV DATE NOTATION/AMENDMENT
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#### **EARTHWORKS**

- 1. THE CONTRACTOR SHALL INSTALL EFFECTIVE ERROSION AND SEDIMENTATION CONTROL MEASURES TO THE SATISFACTION OF THE SUPERINTENDANT PRIOR TO COMMENCING EARTHWORKS. THESE MEASURES SHALL BE MAINTAINED FOR THE DURATION OF THE CONTRACT.
- 2. ADEQUATE DRAINAGE OF ALL WORKING AREAS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION TO ENSURE RUN-OFF OF WATER WITHOUT PONDING, EXCEPT WHERE PONDING FORMS PART OF AN APPROVED EROSION AND AND SEDIMENTATION CONTROL SYSTEM.
- 3. THE CONTRACTOR SHALL OBTAIN THE WRITEN CONSENT OF THE SUPERINTENDANT OR THE USE OF ANY STOCKPILE WITE WHICH IS NOT SHOWN ON THE DRAWINGS. PROPOSAL IN THIS REGARD SHALL BE SUBMITTED AT LEAST THREE WORKING DAYS BEFORE STOCKPILING IS DUE TO COMMENCE AND SHALL SPECIFY THE MAXIMUM DIMENSIONS OF THE PROPOSAL.
- 4. COMPACTION OF ALL MATERIALS INCLUDING ROAD SURFACES SHALL BE AS SPECIFIED BY THE GEOTECHINCAL ENGINEER.

#### GENERAL

- 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS, AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE PROJECT MANAGER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE CONTRACTOR. ALL BENCHMARKS ARE TO BE CONFIRMED FOR LEVEL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 4. DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER-STRESSED.
- 5. TBM'S AND LEVELS ARE SHOWN TO AHD. CONTRACTOR TO PERFORM QUALITY CONTROL SURVEY AND MAINTAIN IT DURING THE EXTENT OF THE CONSTRUCTION PERIOD.
- 6. THE LOCATION OF ALL EXISTING SERVICES HAVE BEEN OBTAINED FROM THE AVAILABLE AUTHORITY RECORDS. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL PROVE ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR THE LOWERING AND REALIGNMENT OF MINOR DISTRIBUTION SERVICES IN CONSULTATION WITH THE RELEVANT CODE OF PRACTICE STIPULATED
- BY THE ASSET OWNER. ALL EXISTING STREET SIGNS TO BE REINSTATED AS REQUIRED. 8. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND TO THE SATISFACTION OF THE SUPERINTENDENT, COUNCIL, AND THE SERVICE AUTHORITIES. THE SUPERINTENDENT SHALL CARRY OUT REGULAR SITE INSPECTIONS. THE CONTRACTOR SHALL NOTIFY COUNCIL 7 DAYS PRIOR TO COMMENCEMENT OF WORKS.
- 9. THE CONTRACTOR IS TO SUBMIT AN ENVIRONMENTAL MANAGEMENT PLAN IDENTIFYING THE RISKS ASSOCIATED WITH THE WORKS AND CONTROL MEASURES FOR APPROVAL, PRIOR TO COMMENCING WORKS ON SITE. THE EMP MUST COMPLY WITH ALL STATUES, BY-LAWS, STANDARDS, AND SECTION 6.3 OF URBAN STORMWATER - BEST PRACTICE ENVIRONMENTAL MANAGEMENT GUIDELINES. THE CONTRACTOR SHALL CONTROL SEDIMENTATION, EROSION, AND POLLUTION DURING CONSTRUCTION IN ACCORDANCE WITH THE 'GUIDELINES FOR ENVIRONMENTAL
- MANAGEMENT DOING IT RIGHT ON SUBDIVISIONS' 10. ANY STRUCTURES, PAVEMENTS OR SURFACE DAMAGED, DIRTIED OR MADE UNSERVICEABLE DUE TO CONSTRUCTION WORK SHALL BE REINSTATED TO THE SATISFACTION OF THE
- SUPERINTENDENT. ALL MATERIAL ASSETS MODIFIED OR DAMAGED BY THE PROPOSED WORKS ARE TO BE REINSTATED TO THE SATISFACTION OF THE LOCAL CITY COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES BY SETTLEMENT SUBSIDENCE OR REMOVAL SUPPORT CONSEQUENT UPON OPERATION UNDER THE CONTRACT AND SHALL MAKE GOOD ALL DAMAGES AT THEIR OWN COST.
- 11. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT LOCAL COUNCIL'S
- STANDARD DRAWINGS AND TO THE SATISFACTION OF THE COUNCIL SUPERVISING ENGINEER. 12. THE CONTRACTOR SHALL ARRANGE AND PAY ALL FEES TO CONNECT TO COUNCIL'S STORMWATER
- SYSTEM, IN COMPLIANCE WITH COUNCIL REQUIREMENTS. 13. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 4300 AND WITH THE PLANS APPROVED
- BY THE LOCAL CITY COUNCIL. 14. ANY VARIATION TO THE DETAILS SHOWN ON THE DRAWINGS MUST BE AUTHORISED BY THE
- SUPERINTENDENT PRIOR TO FABRICATION AND/OR CONSTRUCTION.
- 15. ALL CONSTRUCTION WORKS SHALL BE RESTRICTED TO THE HOURS AS ADVISED BY THE SUPERINTENDENT
- 16. THE CONTRACTOR SHALL NOT ENTER OR WORK IN ADJOINING PROPERTIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNERS OR RESPONSIBLE ALITHORITIES
- 17. ALL NEW WORKS TO HAVE A SMOOTH JUNCTION WITH EXISTING WORK.
- 18. ALL PROPERTY ITEMS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS. ANY ALTERNATIVE PRODUCTS ARE TO BE APPROVED BY THE SUPERINTENDENT
- 19. THE CONTRACTOR IS RESPONSIBLE TO CARRY OUT ALL WORKS WITH ADEQUATELY SKILLED, TRAINED, AND QUALIFIED TRADE WORKERS.
- 20. IT IS THE MAIN CONTRACTORS RESPONSIBILITY TO SUPPLY THE RELEVANT NOTES, SPECIFICATIONS, AND DRAWINGS TO ALL SUB-CONTRACTORS.
- 21. TRAFFIC CONTROL MEASURES ARE TO BE IMPLEMENTED AT ALL TIMES IN ACCORDANCE WITH AS 1742. A SITE SAFETY PLAN IS TO BE PREPARED BY THE CONTRACTOR IN ACCORDANCE WITH THE RELEVANT STANDARDS
- 22. THE CONTRACTOR IS TO ENSURE THE SITE IS KEPT AT CONSISTENTLY CLEARED OF RUBBISH AND IS MAINTAINED IN A SAFE AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.
- 23. THE CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE LATEST OCCUPATIONAL HEALTH AND SAFETY ACT. 24. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FENCING TO THE SATISFACTION
- OF THE SUPERINTENDENT DURING THE CONTRACT TO PREVENT UNAUTHORISED ENTRY INTO THE SITE. WITH CONTRACTOR SHALL ALSO REMOVE TEMPORARY FENCING ON COMPLETION OF THE WORK.
- 25. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS. 26. ROADS ADJOINING THE SITE MUST BE KEPT CLEAN AND FREE OF ALL EXCAVATED/TRANSPORTED

#### CONCRETE

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600-2018 AND AS 3610-1995 & AS 3610.1-2018 WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. 2. ALL CONCRETE TO BE 32 MPa WITH A MAXIMUM SLUMP OF 80mm, AND MAXIMUM AGGREGATE SIZE OF
- 20mm UNO. 3. CONCRETE SHALL BE PLACED IN A MANNER THAT AVOIDS SEGREGATION. CONCRETE SHALL NOT BE PLACED IF THE AMBIENT AIR TEMPERATURE IS LESS THAN 5 °C OR GREATER THAN 35 °C. ADDITIONAL
- PRECAUTIONS MAY NEED TO BE TAKEN IN WINDY CONDITIONS AND/OR TEMP. ABOVE 30°C. 4. THE CONTRACTORS SHALL SUBMIT PROPOSED CURING METHODS FOR THE ENGINEERS WRITTEN APPROVAL PRIOR TO CONCRETE POUR.
- 5. REPAIRS TO CONCRETE SHALL NOT BE ATTEMPTED WITHOUT INSPECTION & PERMISSION OF THE
- 6. CONCRETE FORMED SURFACE TO HAVE FINISHED IN ACCORDACE WITH AS 3610-1995 & AS 3610.1-2018 OR AS SPECIFIED OTHERWISE.

# STORMWATER DRAINAGE

- 1. ALL STORMWATER WORKS ARE TO BE UNDERTAKEN GENERALLY IN ACCORDANCE WITH AS/NZS 3500.3-2021 STORMWATER DRAINAGE
- 2. PIPES OF 300mm DIA. AND UNDER SHALL BE UPVC TO AS/NZS 1254-2010.
- 3. PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS/NZS 4058-2007, RUBBER RING JOINTED U.N.O.
- 4. PIPES UP TO 150mm DIA. SHALL BE LAID AT A MINIMUM GRADE OF 1.0%. PIPES 225mm DIA. AND OVER TO BE LAID AT A MINIMUM GRADE OF 0.5%. UNO. BEDDING MATERIAL TO AS/NZS 2032-2006 OR AS/NZS 3725-2007 AS APPROPRIATE.
- 5. MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 450mm IN CARPARK & ROADWAY AREAS
- 6. UNLESS NOTED OTHERWISE, ALL CONCRETE PIPE ARE TO BE CLASS 2 AND RUBBER RING JOINTED. RUBBER RINGS SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AS 1646-2007. THE EXCAVATED TRENCH WIDTH FOR PIPE LAYING MUST BE AT LEAST 400mm WIDER THAN THE OUTER DIAMETER OF THE PIPE. PIPES ARE TO BE LAID CENTRALLY WITHIN THE EXCAVATED TRENCH.
- 7. ALL PIPEWORK SHALL BE BEDDED ON A CONTINUOUS UNDERLAY OF SAND, NOT LESS THAN 75mm THK. IN OTHER THAN ROCK AND 200mm THK. IN ROCK AFTER COMPACTION. THE SAND SHALL BE GRADED IN ACCORDANCE WITH AS/NZS 3500.3-2021 AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AND SHALL BE GRADED EVENLY WITH THE ADDITIONAL BEDDING.
- 8. THE BED AND HAUNCH MATERIAL SHALL BE COMPACTED FOR THE FULL WIDTH OF THE TRENCH BY A MINIMUM OF TWO PASSES OF A VIBRATING PLATE OR HAND TAMPING METHODS TO THE SATISFACTION OF THE SUPERINTENDENT.
- 9. CHASES SHALL BE FORMED WHERE NECESSARY TO PREVENT SOCKETS, FLANGES OR THE LIKE FROM BEARING ON THE
- 10. THE CONTRACTOR MUST LEAVE ALL STORMWATER DRAINAGE WORKS UNCOVERED UNTIL ANY TESTING DEEMED NECESSARY BY THE SUPERINTENDENT HAS BEEN PERFORMED.
- 11. THE CONTRACTOR SHALL ENSURE THAT ANY EXISTING STRUCTURES LOCATED ADJACENT TO EXCAVATED TRENCHES ARE SUPPORTED OR PROTECTED TO PREVENT DAMAGE TO OR MOVEMENT TO THESE STRUCTURES.
- 12. PIPE LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE LINE WITH THE SOCKET ENDS OF THE PIPE FACING UPSTREAM. THE BARREL OF EACH PIPE SHALL BE IN CONTACT WITH THE BEDDING MATERIAL THROUGHOUT ITS FULL
- 13. FOR RUBBER RING JOINTS THE PIPE ENDS SHALL BE TIGHTLY JOINED WITH THEIR INNER SURFACES AT THE
- MANUFACTURES NOMINATED LAYING GAP. 14. LIFTING HOLES IN PIPES SHALL BE PLUGGED WITH MORTAR, PRECAST TAPERED PLUGS, OR TAPE SURROUNDINGS OR OTHER APPROVED MEANS PRIOR TO BACKFILL MATERIAL BEING PLACED.
- 15. CUTTING OPERATIONS FOR CONCRETE PIPES SHALL PROVIDE NEAT END SURFACES. THE CUT SURFACES SHALL BE GIVEN TWO COATS OF A APPROVED EPOXY PAINT.
- 16. COMPLETED CEMENT MORTAR JOINTS SHALL BE KEPT DAMP AND PROTECTED FROM THE DIRECT RAYS OF THE SUN
- UNTIL BACKFILLED. 17. DRAINAGE LINES SHALL BE CONSTRUCTED TO THE TOLERANCES IN ACCORDANCE WITH THE RELIANT AUSTRALIAN
- STANDARDS, SUPERINTENDENTS SPECIFICATIONS AND THE MANUFACTURES SPECIFICATIONS. 18. BACKFILL MATERIAL SHALL BE INSPECTED AND APPROVED BY THE SUPERINTENDENT PRIOR TO PLACING AND
- 19. ALL BACKFILL FOR STORMWATER DRAINAGE WORKS IS TO BE COMPACTED IN LAYERS NOT EXCEEDING 30mm LOOSE
- THICKNESS AND COMPACTED WITHOUT DAMAGING OR DISPLACING THE PIPEWORK. 20. STEP IRONS AT SPACINGS OF 300m ARE TO BE PROVIDED IN DRAINAGE PITS MORE THAN 0.9m DEEP U.N.O.
- 21. PROVIDE 3.0m LENGTH OF Ø100 SUBSOIL DRAINAGE PIPE WRAPPED IN FABRIC SOCK AT UPSTREAM END OF EACH PIT. 22. UNLESS OTHERWISE SPECIFIED, ALL DRAINAGE GRATES TO BE CLASS "C" GALVANISED MILD STEEL TO AS 3996-2019. 23. upvc pipes shall be transported. Handled, and stored in accordance with the manufactures
- SPECIFICATIONS. 24. uPVC PIPE LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE LINE WITH THE SOCKET END OF THE PIPE FACING UPSTREAM. WHEN THE PIPES ARE LAID, THE BARREL OF EACH PIPE SHALL BE IN CONTACT WIT THE BEDDING MATERIAL THROUGHOUT ITS FULL LENGTH.
- 25. THE uPVC PIPE ENDS SHALL BE THOROUGHLY CLEANED BEFORE THE JOINT IS MADE. JOINTING SHALL BE IN ACCORDANCE WIT THE MANUFACTURES SPECIFICATIONS WITH JOINTING SOLVENT AND PRIMER.

#### RAINWATER TANK

- 1. PUMP FOR RAINWATER TANK TO BE CONNECTED TO TOILETS, LAUNDRY AND GARDEN TAP FOR IRRIGATION. 2. PUMP MUST HAVE MAINS WATER BACKUP WITH AN APPROVED BACKFLOW PREVENTION DEVICE. DEVICE TO BE
- ACCESSIBLE FOR TESTING
- 3. A FIRST FLUSH DEVICE OR FILTER BAG IS TO BE INSTALLED.
- 4. RAINWATER TANK MUST NOT BE CONNECTED TO THE MAIN DRINKING WATER SUPPLY.
- RAINWATER TANK MUST CONTAIN A BYPASS OF THE PUMP IN THE EVENT OF A POWER FAILURE.
- 6. RAINWATER TANK MUST BE CONSTRUCTED IN ACCORDANCE WITH AUSTRALIAN STANDARD. AS/NZS 3500.1.-2021: NATIONAL PLUMBING AND DRAINAGE - WATER SUPPLY- ACCEPTABLE SOLUTIONS, WHICH PROVIDES GUIDANCE ON THE DESIGN OF STORMWATER AND RAINWATER REUSE SYSTEMS.
- . RAINWATER TANK MUST BE PROVIDED WITH AN AIR GAP (SEE AS/NZS 3500.1-2021 AND AS 2845.2-2010) 8. RAINWATER TANK MUST BE KEPT WELL MAINTAINED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURING
- REQUIREMENTS AND THE REQUIREMENTS OF SYDNEY WATER.

#### EROSION, SEDIMENT AND SITE MANAGEMENT

- ECO1 ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS. THE LOCATION OF SUCH DEVICES (SHOWN ON THIS DRAWINGS) IS INDICATIVE ONLY AND FINAL POSITION SHOULD BE DETERMINED ON SITE.
- ECO2 SURPLUS TOPSOIL SHALL BE STOCKPILED WHERE DIRECTED. DIVERSION BANKS ARE TO BE PLACED UPSTREAM AND SHALL DISCHARGE TO SEDIMENT BARRIERS. ALL STOCKPILES ARE TO BE VEGETATED WITHIN 14 DAYS OF FORMATION. SILT FENCES ARE TO BE PLACED ON THE DOWNSTREAM FACE.
- ECO3 DURING TRENCH EXCAVATION ALL SPOIL SHALL BE MOUNDED ON THE UPHILL SIDE OF TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENTS.
- EC04 PROVIDE SEDIMENT TRAPS TO ALL INLET PITS.

SEDIMENT REMOVAL MEASURES

- EC05 ALL TURF SODS AND SEEDED AREAS ARE TO BE WATERED AND FERTILISED AS DIRECTED.
- ECO6 ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE CLEARED OF DEPOSITED SILT AND MAINTAINED TO THE SATISFACTION OF THE SUPERINTENDENT.
- EC07 GENERALLY BARRIERS SHOULD BE PLACED APPROXIMATELY 5.0 METRES OUTSIDE POTENTIAL DISTURBED AREAS. ECO9 A LOG BOOK OR OTHER SUITABLE RECORDS MUST BE KEPT BY THE SITE SUPERVISOR IN ACCORDANCE
- WITH THE EPA'S REQUIREMENTS. ECON CONTRACTOR TO FOLLOW THE RECOMMENDED SEQUENCE OF OPERATIONS AS SPECIFIED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT IN THE BROCHURE "PREPARING SOIL AND
- EC10 BUILDER IS TO CONDUCT WORKS IN ACCORDANCE WITH COUNCILS CONDITION TO DUST SUPPRESSION AND
- EC11 BUILDER TO CONFIRM LOCATION OF STOCKPILES, FENCING, STABILISED ACCESS ETC. ON COMMENCEMENT OF WORK. ENGINEER TO BE NOTIFIED.
- EC12 WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED AS SHOWN ON PLAN.
- EC13 STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL, GRAVEL MUST BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL. PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK, SCAFFOLDING.
- EC14 TRUCKS REMOVING EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS. MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON SITE.
- TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. ( NO SEMITRAILERS ) EC15 ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS
- TO BE REMOVED IMMEDIATELY. EC16 PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
- EC17 CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
- EC18 DELIVERY VEHICLES MUST NOT STAND WITHIN THE PUBLIC ROADWAY FOR MORE THAN 20 MINUTES AT A
- EC19 ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.
- EC20 TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED & SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE
- EC21 ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH LOCAL CITY COUNCIL ENVIRONMENTAL SITE MANAGEMENT DEVELOPMENT CONTROL PLAN DOCUMENTS, CURRENT EDITION.
- EC23 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF THE CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM, SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.
- EC22 PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOT PATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.

- ROCK SIZES ARE SPECIFIED ACCORDING TO THEIR POSITION AND RESISTANCE TO HYDRAULIC FORCES THE ROCK HAS BEEN SHOWN SCHEMATICALLY IN THE DRAWINGS AND SHALL BE 100mm NOMINAL SIZE.
- ROCK SUPPLIED FOR THE WORKS MUST BE HARD, DURABLE, AND LOCALLY SOURCED
- 3. ROCK IN THE FORM OF BLOCKS WITH ANGULAR EDGES IS REQUIRED TO ENSURE CONSISTENT INTERLOCKING DURING PLACEMENT.
- 4. ROCK IS TO BE IN THE NATURAL FORM AND NOT CUT OF SHAPED.
- 5. ALL GAPS WITHIN ROCK TO BE FILLED WITH COARSE GRAVEL TO THE TOP AND THEN FILLED WITH A FILTER MEDIA. THIS GRADED ROCK IS TO BE OVERLAID ON A COARSE GRAVEL BEDDING WITH A MIN. 20mm THICKNESS. PROVIDE A GEOTEXTILE FABRIC BIDIM A64 OR APPROVED EQUIVALENT.

#### SEQUENCE OF OPERATIONS

- PROVIDE SHAKE DOWN PAD AT ENTRY OF SITE
- CONSTRUCT SEDIMENT FENCING (REFER DETAILS) CONSTRUCT DRAINAGE & CIVIL WORKS (MODIFY SEDIMENT CONTROL DRAINS TO SUIT CONSTRUCTION.
- PITS & PIPES TO BE PROTECTED WITH FILTER BARRIERS REFER DETAILS
- AT COMPLETION OF ALL WORKS REVEGETATE BATTERS WITHIN 14 DAYS
- AFTER COMPLETION OF BUILDING WORKS, ALL CONTROL MEASURES CAN BE REMOVED.

#### MAINTENANCE PROCEDURES DURING CONSTRUCTION

- 1 ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL/OPERATIONAL DURING THE CURRENCY OR WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL/OPERATIONAL. SHOULD WORK OPERATIONS CEASE TEMPORARILY, (e.g. WEEKENDS, ROSTERED DAYS OFF, etc.)
- RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR
- ALTERNATIVELY PLACE ON STOCKPILES. NON-COMPLIANCE WITH AGREED PERFORMANCE CRITERIA WILL BE IDENTIFIED BY
- VISUAL INSPECTIONS IDENTIFYING
- BUILD-UP OF SEDIMENT OFF THE SITE
- EXCESSIVE SEDIMENT BUILD-UP ON THE SITE
- EXCESSIVE EROSION ON THE SITE
- RELEASE OF CONSTRUCTION MATERIAL FROM THE SITE
- POOR VEGETATION ESTABLISHMENT
- POORLY MAINTAINED, DAMAGED OR FAILED ESC DEVICES.
- DETERIORATED WATER QUALITY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT AS BEING ATTRIBUTABLE TO THE CONSTRUCTION ACTIVITIES.
- BUILD-UP OF SEDIMENT OFF THE SITE THE MATERIAL MUST BE COLLECTED AND DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ONGOING ENVIRONMENTAL NUISANCE OR HARM: THEN ON-SITE ESC
- MEASURES AMENDED, WHERE APPROPRIATE, TO REDUCE THE RISK OF FURTHER SEDIMENTATION. EXCESSIVE SEDIMENT BUILD-UP ON THE SITE - COLLECT AND DISPOSE OF MATERIAL, THEN AMEND UP-SLOPE DRAINAGE AND/OR EROSION CONTROL MEASURES AS APPROPRIATE TO REDUCE FURTHER
- SEDIMENT FENCE FAILURE REPLACE AND MONITOR MORE FREQUENTLY. REGULAR FAILURES MAY MEAN
- THAT THE SEDIMENT FENCE LOCATION, ALIGNMENT OR INSTALLATION MAY NEED TO BE AMENDED. IF THE RELEASE OF EXCESSIVE SEDIMENT AND/OR OTHER MATERIALS OFF THE SITE OCCURS, OR WATER QUALITY MONITORING INDICATES LEVELS ARE NOT WITHIN THE WQOS, CLEAN UP DEPOSITION, AND INSPECT ALL CONTROL MEASURES.

BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT

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LOTS 24, 25 & 26 DP 35120 153-155 PENNANT ST & 2 COLLETT PDE **PARRAMATTA NSW 2150** 

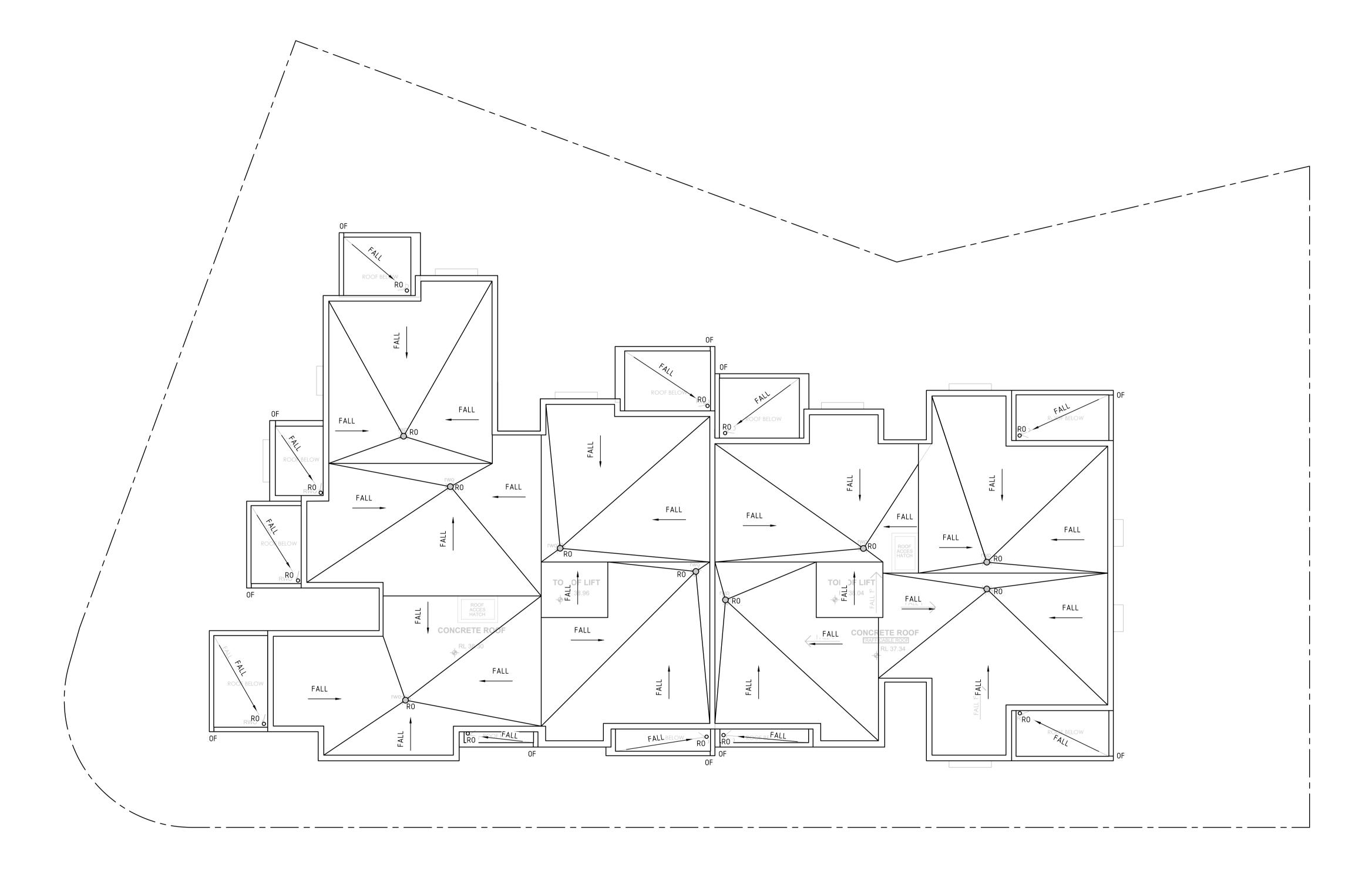
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REV DATE NOTATION/AMENDMENT PROJECT MANAGER STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD HOMES NSW PH (02) 4226 5247 PH (02) 9354 1836 ARCHITECT HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD DTA Architects Pty Ltd PH (02) 9601 1011 PH (02) 9709 5705 LANDSCAPE CONSULTANT
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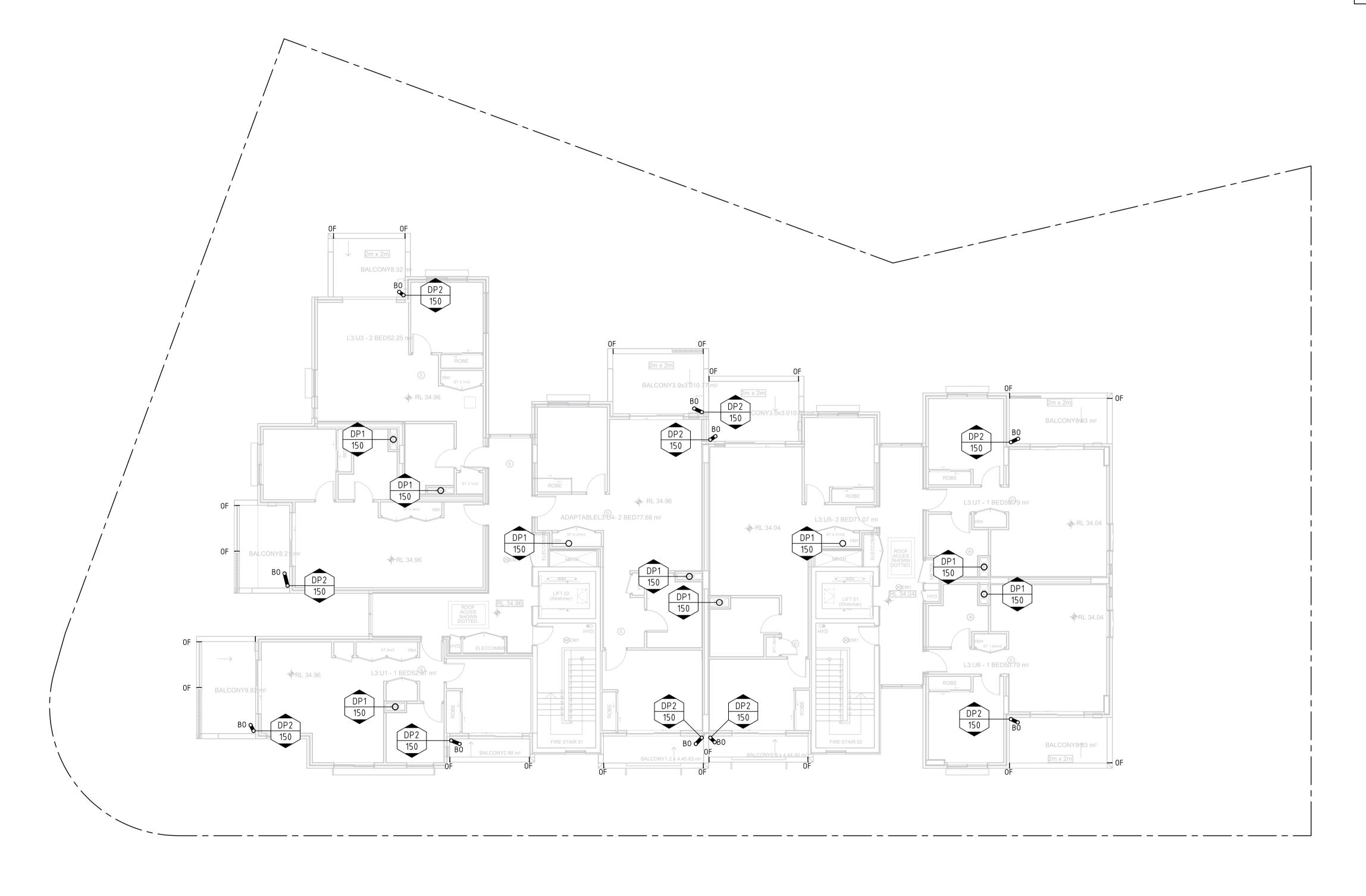
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SCALE FOR PRINTING

SY	MBOLS & NOTATION
B0 <b>o</b>	BALCONY OUTLET
I OF	BALCONY & PATIO OVERFLOW POINTS
DP1 150	DOWN PIPE SIZE AND PROJECTION (ROOF)
DP2 150	DOWN PIPE SIZE AND PROJECTION (BALCONY & AWNING)



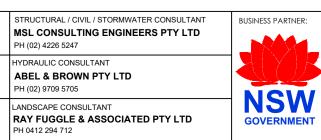


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C 11.07.2024 ISSUED FOR DA
B 12.04.2024 ISSUED FOR DA
A 15.06.2023 ISSUED FOR DA
1 19.04.2023 CONCEPT PLAN
REV DATE NOTATION/AMENDMENT PROJECT MANAGER HOMES NSW PH (02) 9354 1836 ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011 GREENVIEW CONSULTING PTY LTD
PH (02) 8544 1683 DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.



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**GENERAL HOUSING - RESIDENTIAL** APARTMENT DEVELOPMENT LOTS 24, 25 & 26 DP 35120 153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTA NSW 2150 LEVEL 3 DRAINAGE PLAN

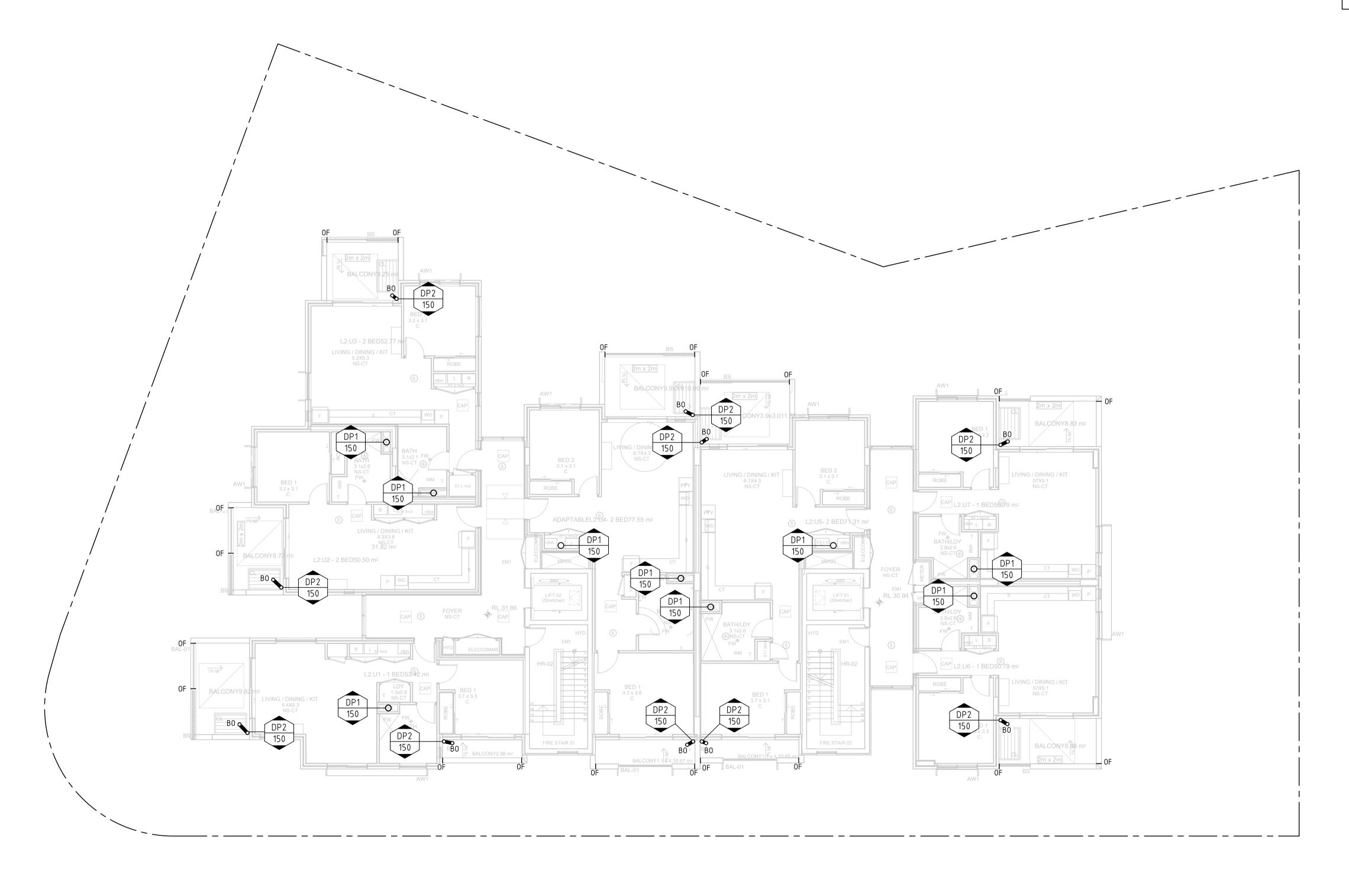
PURPOSE ONLY DA ISSUE 21/10/24 1:100 @ A1 | BGYMW | 22079 TP/WT CHECKED: 3 of 14 21/10/2024

0 5 10 20 40MM

SCALE FOR PRINTING

NSW GOVERNMENT

SY	MBOLS & NOTATION
B0 <b>o</b>	BALCONY OUTLET
I OF	BALCONY & PATIO OVERFLOW POINTS
DP1 150	DOWN PIPE SIZE AND PROJECTION (ROOF)
DP2 150	DOWN PIPE SIZE AND PROJECTION (BALCONY & AWNING)





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LOTS 24, 25 & 26 DP 35120 153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTA NSW 2150

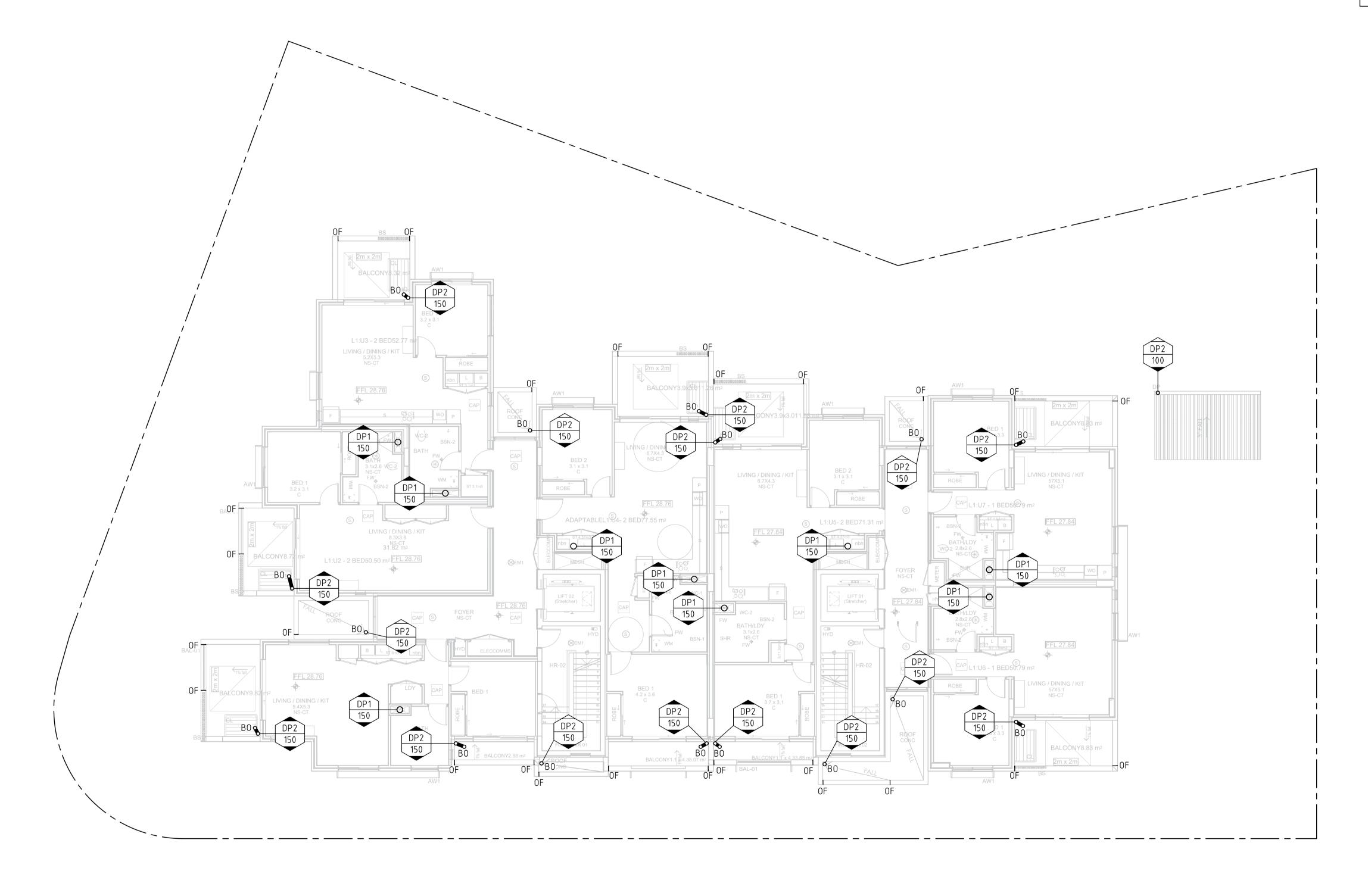
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21/10/2024

TP/WT CHECKED:

4 of 14

S١	MBOLS & NOTATION
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I OF	BALCONY & PATIO OVERFLOW POINTS
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		В	12.04.2024	ISSUED FOR DA	
		Α	15.06.2023	ISSUED FOR DA	
_		1	19.04.2023	CONCEPT PLAN	
		REV	DATE	NOTATION/AMENDMENT	
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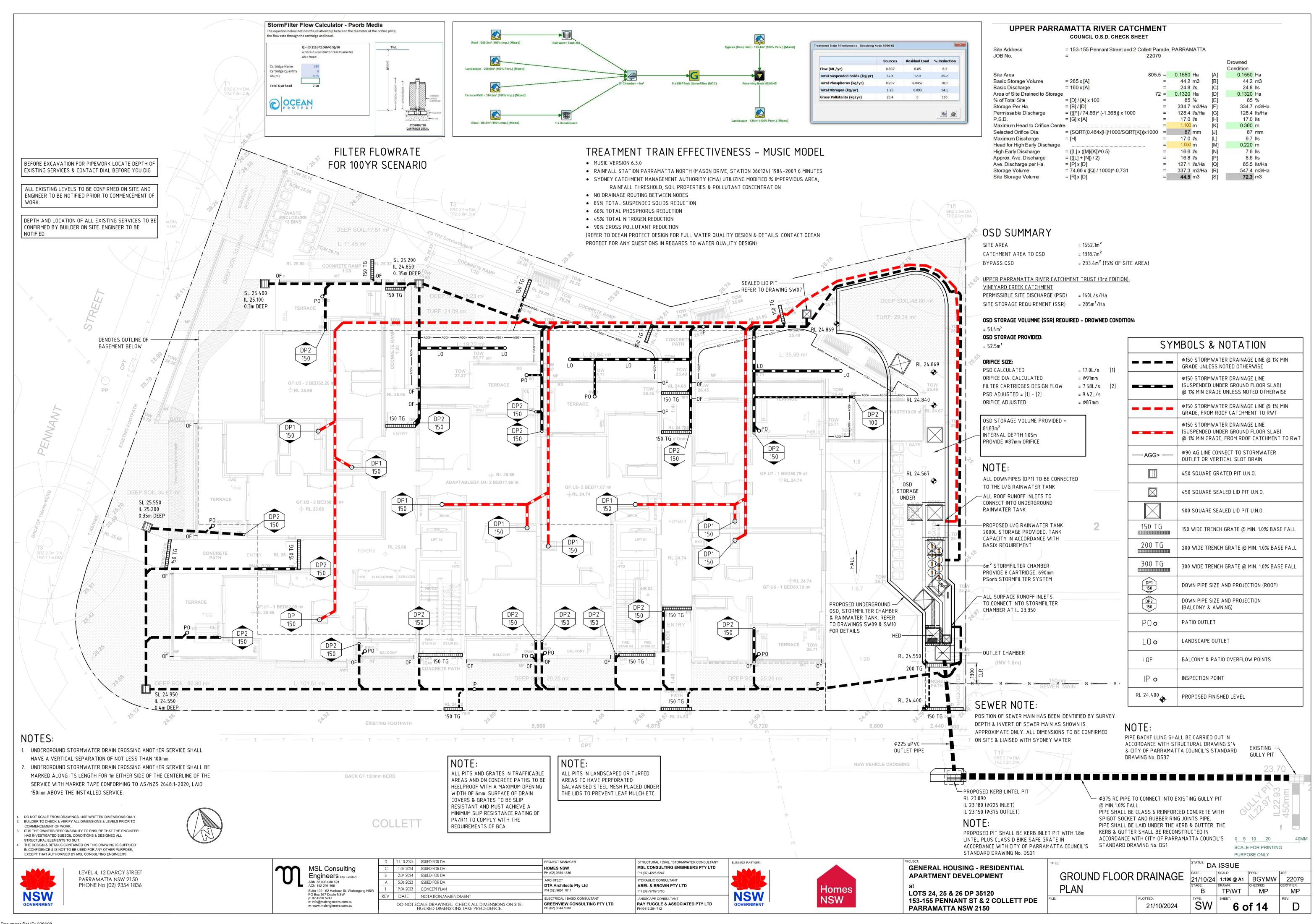
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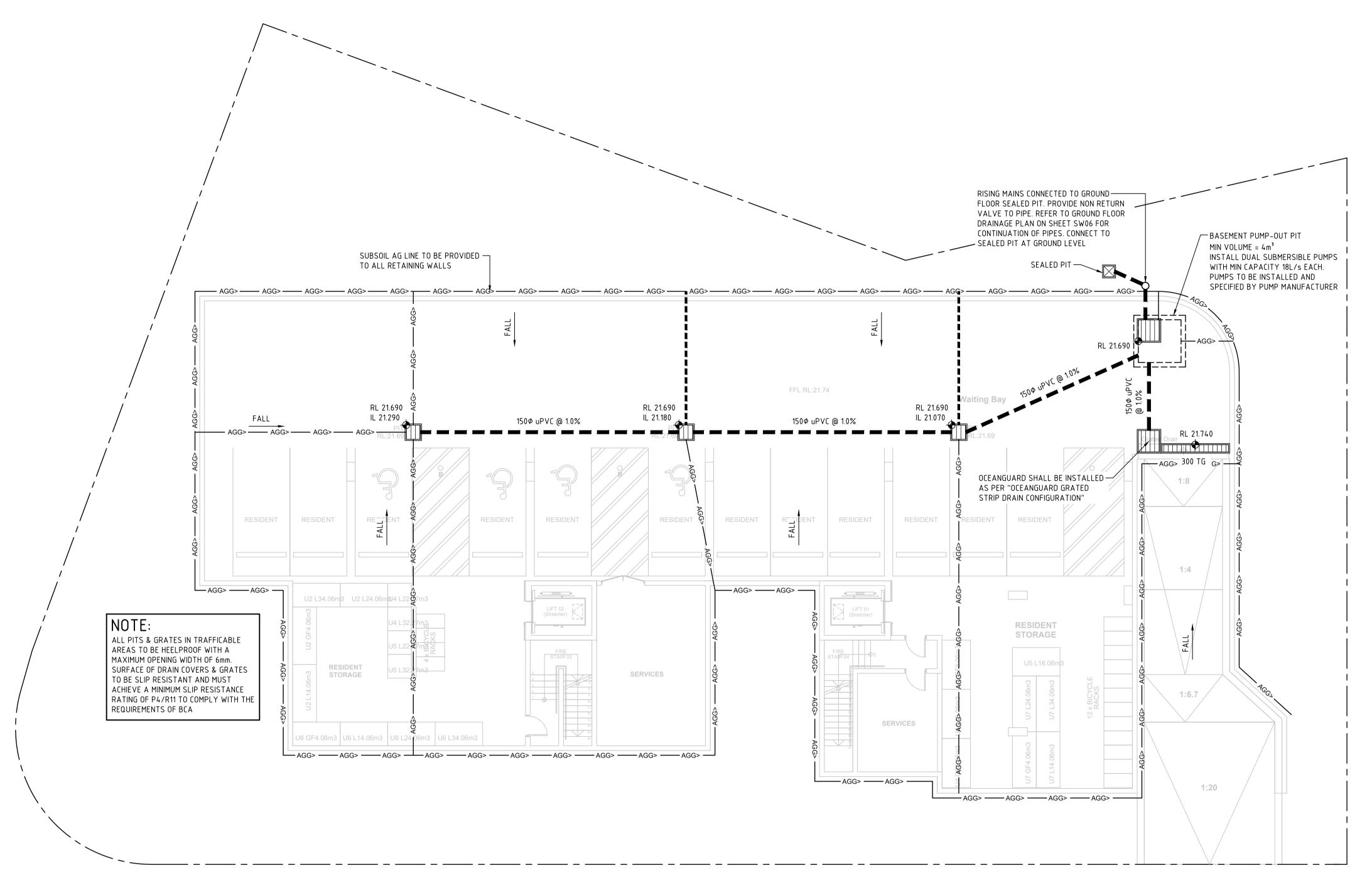




GENERAL HOUSING - RESIDENTIAL
APARTMENT DEVELOPMENT

0 5 10 20 40MM SCALE FOR PRINTING PURPOSE ONLY DA ISSUE





SYMBOLS & NOTATION Ø150 STORMWATER DRAINAGE LINE @ 1% MIN GRADE UNLESS NOTED OTHERWISE Ø90 AG LINE CONNECT TO STORMWATER — AGG> — OUTLET OR VERTICAL SLOT DRAIN 600 SQUARE GRATED PIT U.N.O. 900 SQUARE GRATED PIT FITTED WITH OCEANGUARD BASKET 300 WIDE TRENCH GRATE @ MIN. 1.0% BASE FALL

#### BASEMENT PUMP-OUT SYSTEM DESIGN

DESIGN BASED ON AS/NZS 3500.3-2021 SECTION 8 AND APPENDIX L

#### 1. PUMP SIZE

PUMP CAPACITY BASED ON 100 YEAR ARI STORM, 5 MINUTE STORM DURATION RAINFALL INTENSITY = 209mm/hr DRIVEWAY DRAINING TO PUMP WELL = 87m<sup>2</sup>  $Q1 = 0.0003 \times C \times I \times A$  $= 0.0003 \times 0.9 \times 209 \times 87$ = 4.9L/s

ASSUMED SUBSOIL INFILTRATION, K = 3E-6m/s ASSUMED SUBSOIL FLOW NET APPROXIMATION Q2 = K x h x (2/3) x [m³/s PER SUBSOIL FLOW 155m OF SUBSOIL @ 3m DEEP]  $Q2 = 3E-6m/s \times 3m \times (2/3) \times 155m \times 1000L/m^3$ = 0.93L/s

TOTAL FLOW = Q1 + Q2 = 4.9 + 0.93 = 5.83L/STHEREFORE USE PUMP WITH CAPACITY = 3Q = 17.5L/s

#### 2. PUMP WELL SIZE

PUMP WELL CAPACITY BASED ON 10 YEAR ARI STORM, 120 MINUTE STORM DURATION RAINFALL INTENSITY = 25.4mm/hr PEAK DISCHARGE, Q =  $0.9 \times 25.4$ 

VOLUME FOR 2hr STORM = Q x T x A  $= (22.9/1000) \times 2 \times 87$ = 3.98m³

PROVIDE A 1.8x1.8m INTERNAL DIMENSION x 1.3m MINIMUM DEEP STORAGE PIT WITH 900 SQ GRATED LID STORAGE PROVIDED = 4m³

= 22.9L/hr/m²

(CALCULATIONS TO BE CONFIRMED BY BASEMENT PUMP MANUFACTURER)



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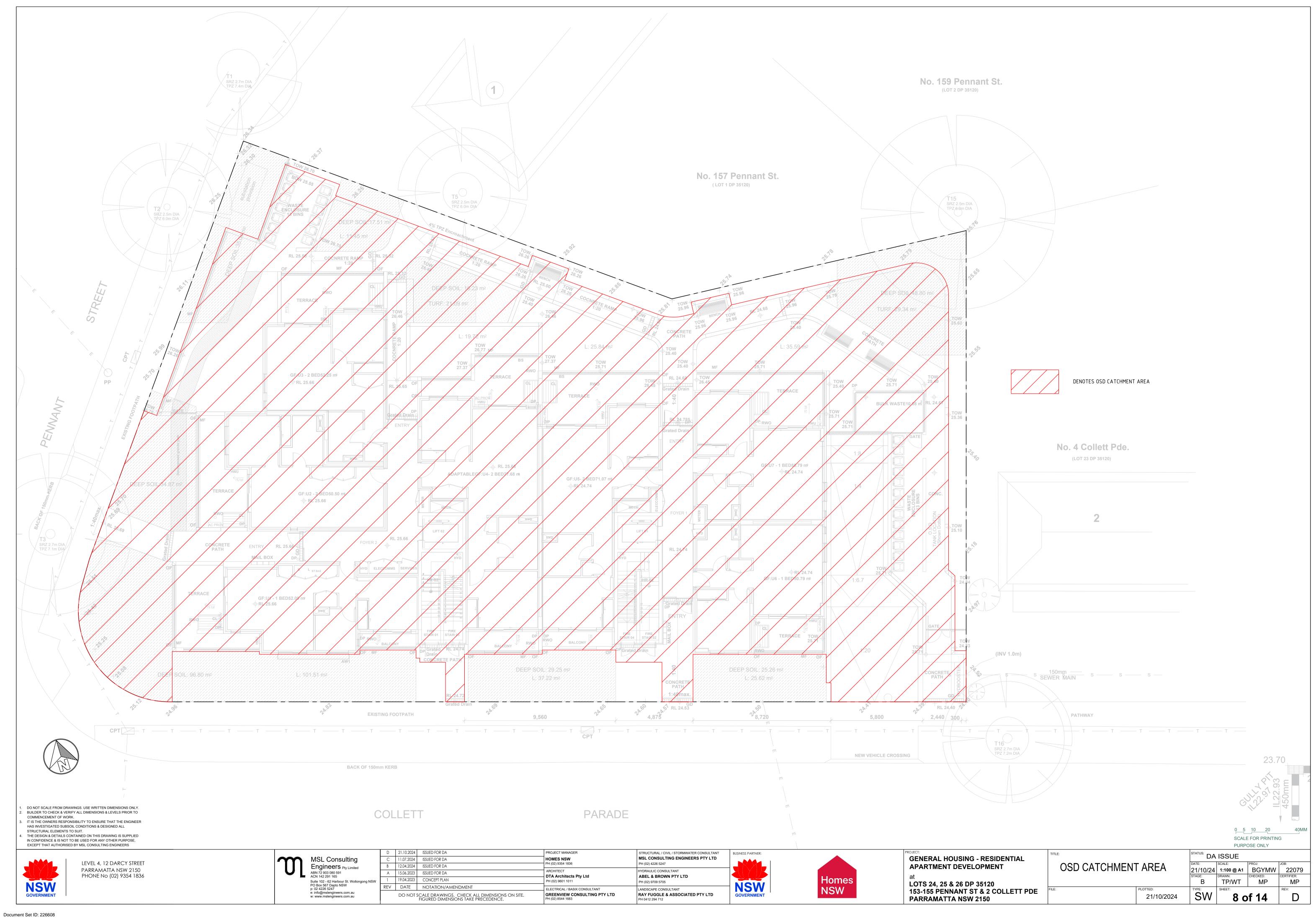


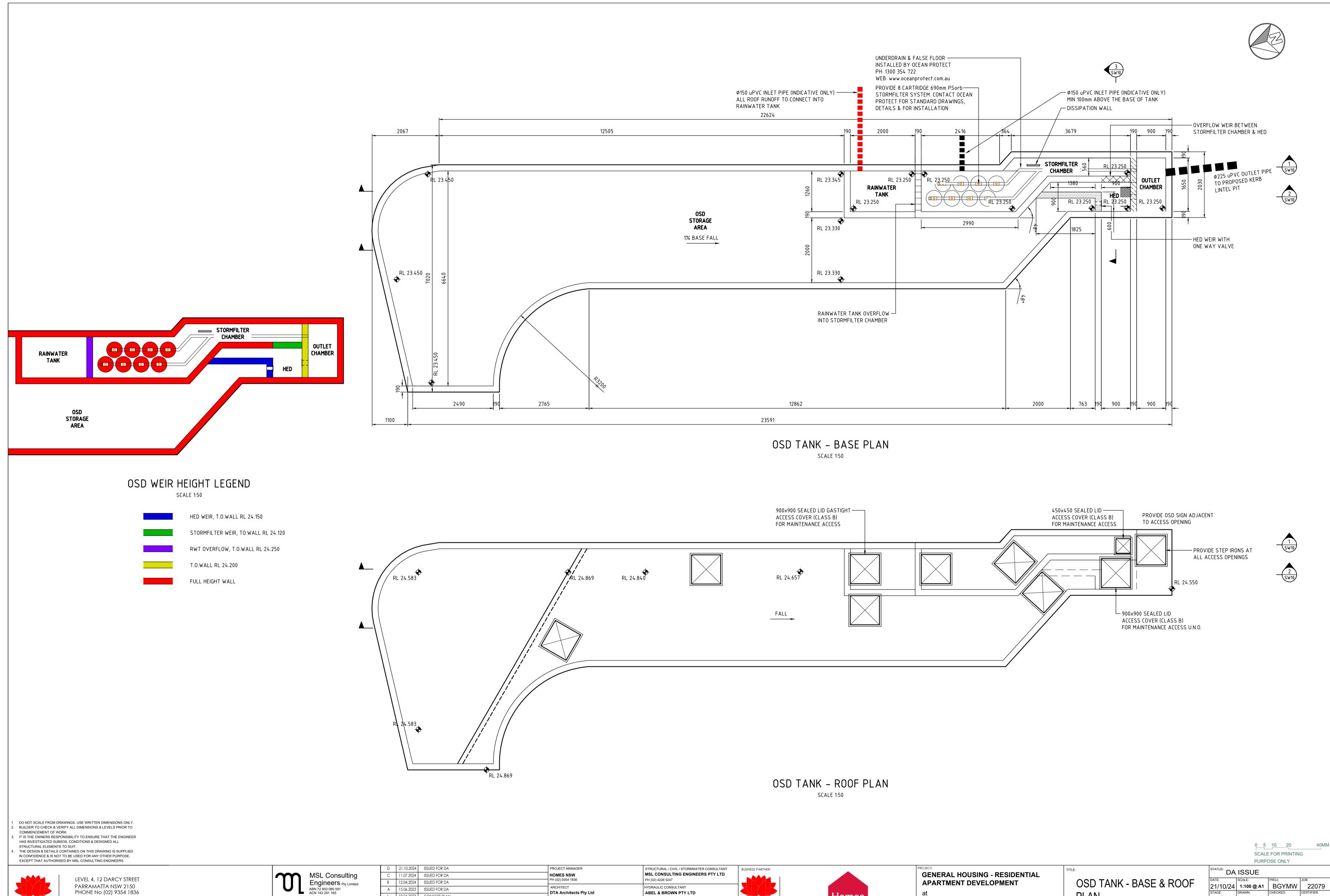
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0 5 10 20 SCALE FOR PRINTING PURPOSE ONLY DA ISSUE **BASEMENT DRAINAGE** PLAN

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19.04.2023 CONCEPT PLAN

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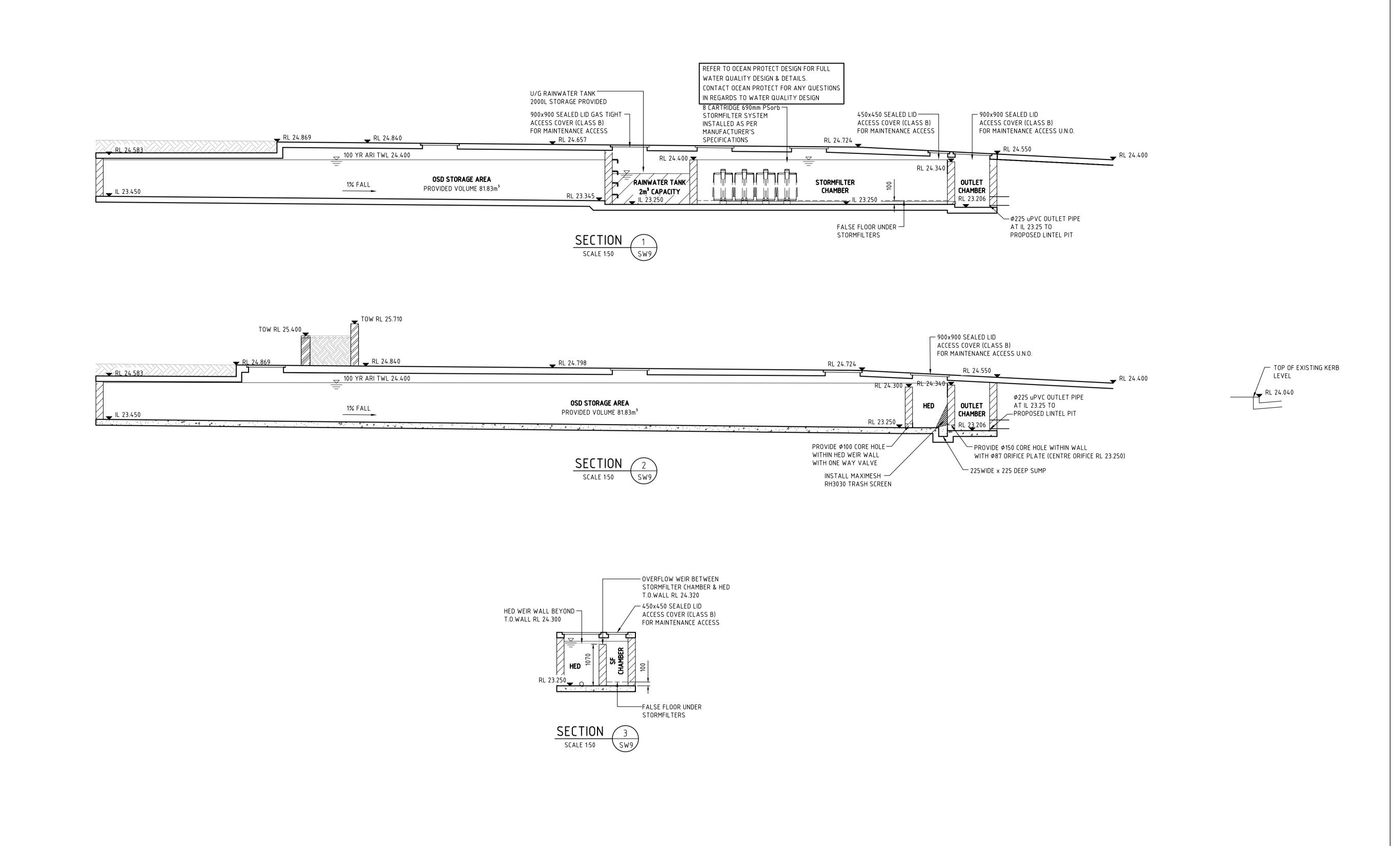
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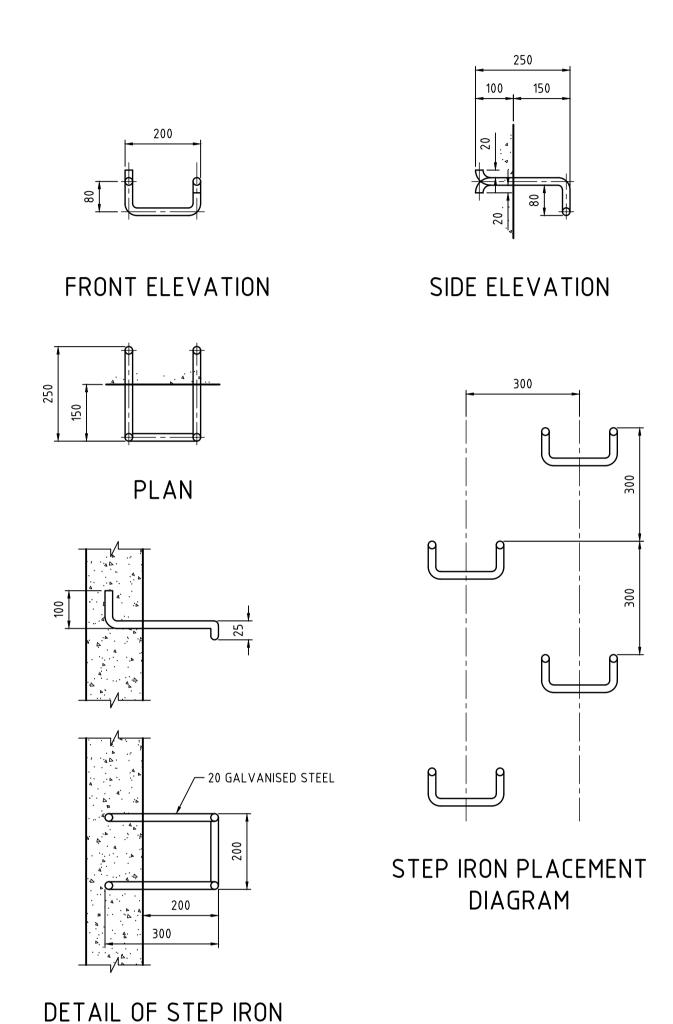
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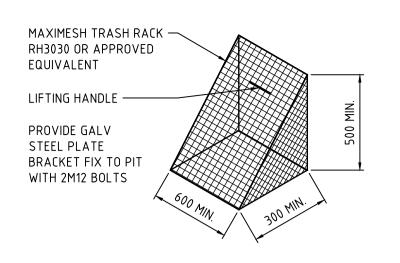
SCALE FOR PRINTING



STEP IRON DETAIL NOT TO SCALE

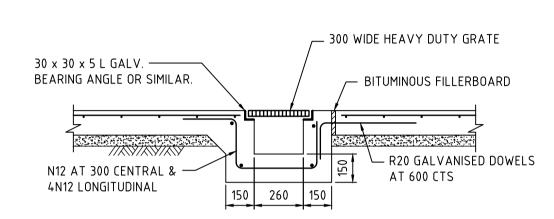
STEP IRON TO BE FABRICATED FROM Ø20 M.S. BARS, HOT DIPPED GALVANISED. PLACED AT 300mm CENTRES AND STAGGERED HORIZONTALLY FOR PITS

DEEPER THAN 1.0m

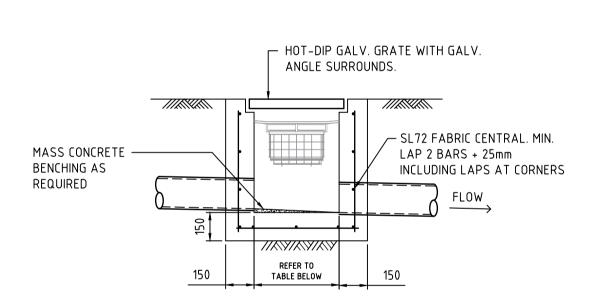


#### MESH SCREEN DETAIL

NOT TO SCALE GALVANISED LYSAGHT RH3030 MAXIMESH SCREEN IN GALVANISED STEEL FRAME WITH LIFTING HANDLES



#### TYPICAL GRATED DRAIN DETAIL NOT TO SCALE



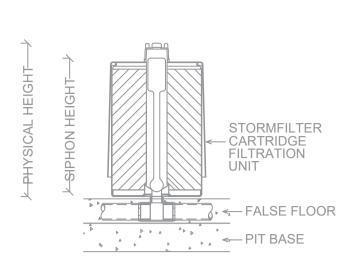
## TYPICAL SURFACE INLET PIT - NATURAL SURFACE

NOT TO SCALE

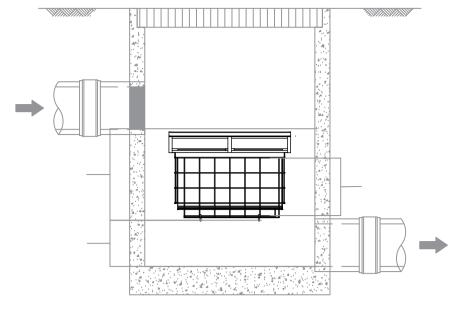
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

1.	Depth to Invert	Pit Internal Dimensions
	<b>&lt;</b> 600	450×450
	>600 <b>&lt;</b> 900	600×600
	>900 ≤1200	600×900
	>1200	900×900

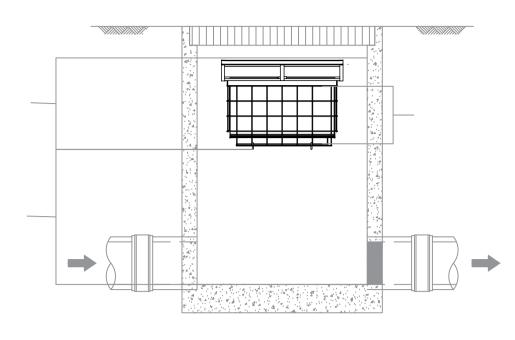
- 2. PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
- 3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP, SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
- 4. PROVIDE Ø90 x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
- 5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
- 6. CONCRETE STRENGTH f'c = 32 MPa



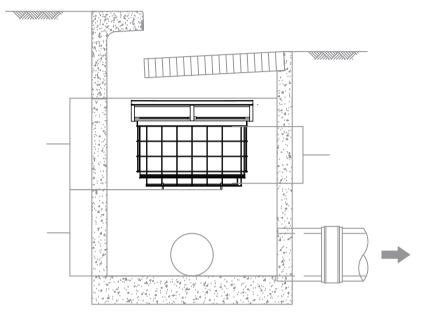
## STORMFILTER CARTRIDGE DETAIL



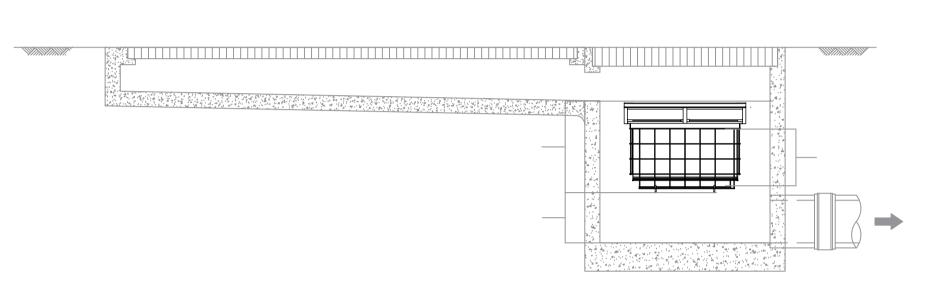
PIPE FLOW CONFIGURATION



SURFACE FLOW CONFIGURATION

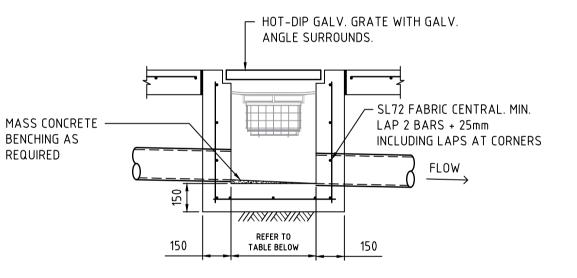


SURFACE FLOW CONFIGURATION



## GRATED STRIP DRAIN CONFIGURATION

REFER TO OCEAN PROTECT DESIGN FOR FULL WATER QUALITY DESIGN & DETAILS. CONTACT OCEAN PROTECT FOR ANY QUESTIONS IN REGARDS TO WATER QUALITY DESIGN



## TYPICAL SURFACE INLET PIT - CONCRETE SURFACE

NOT TO SCALE

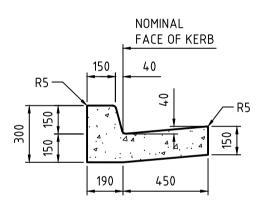
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

1112	THE ENGINEERS AT TROVAL							
1.	Depth to Invert	Pit Internal Dimensions						
	<600 >600 <900 >900 <1200 >1200	450x450 600x600 600x900 900x900						

- 2. PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
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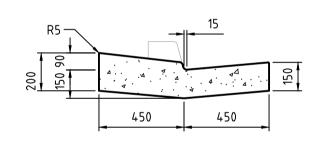
BUSINESS PARTNER:

6. CONCRETE STRENGTH f'c = 32 MPa



#### STANDARD 150mm KERB & GUTTER DETAIL

NOT TO SCALE (REFER TO CITY OF PARRAMATTA COUNCIL STANDARD DRAWINGS - PLAN No: DS1 KERBS AND LAYBACKS SHEET 1/1)



#### STANDARD LAYBACK DETAIL

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PARRAMATTA NSW 2150

153-155 PENNANT ST & 2 COLLETT PDE

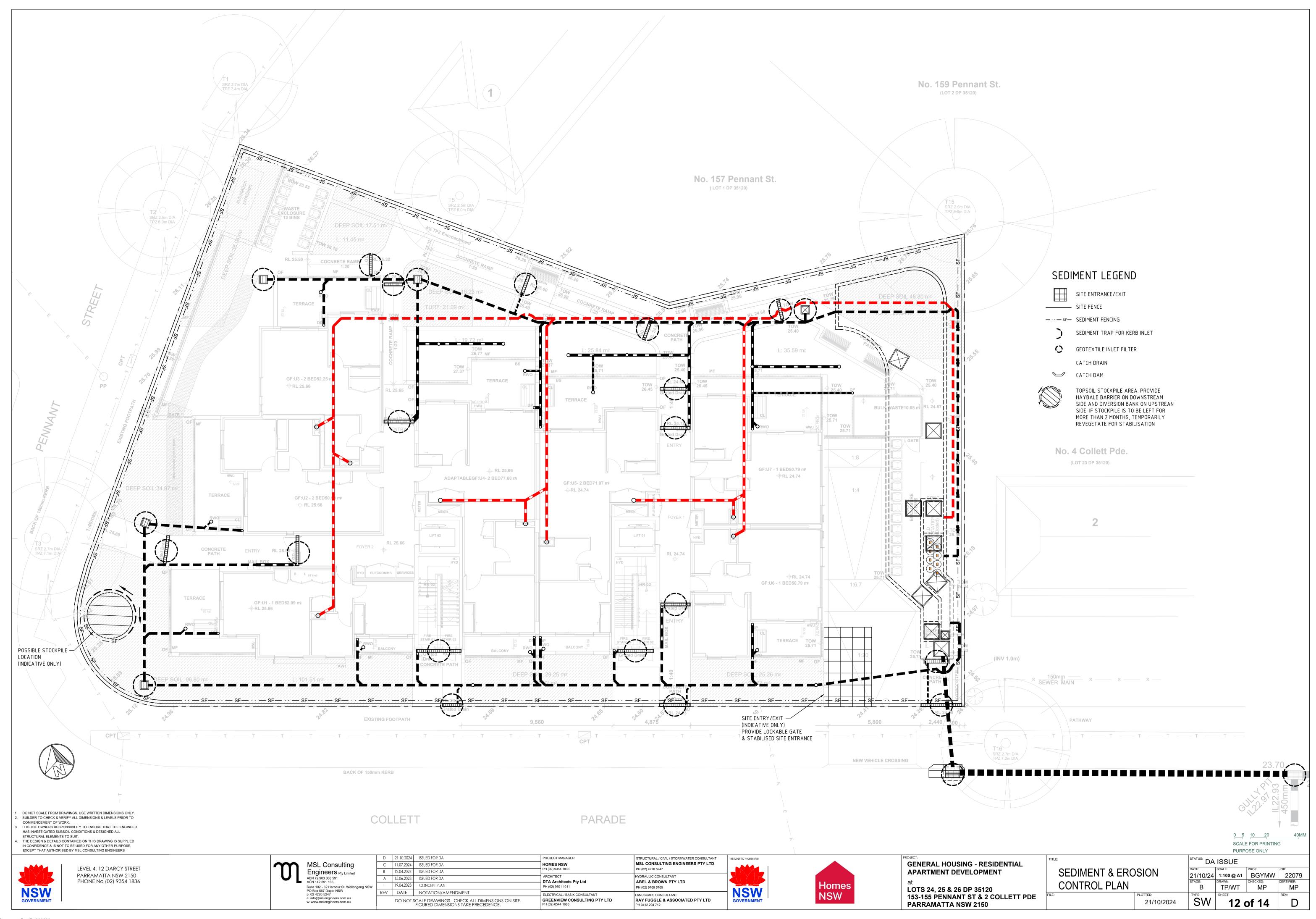
DA ISSUE STORMWATER DETAILS

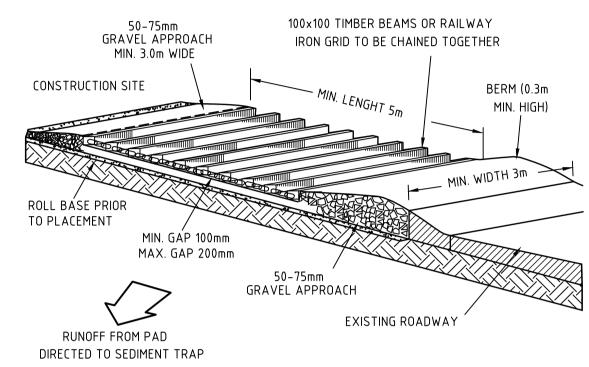
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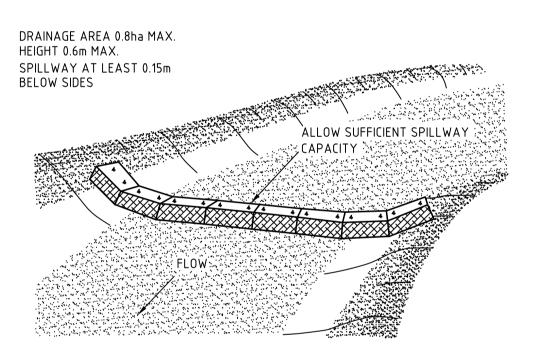
11 of 14



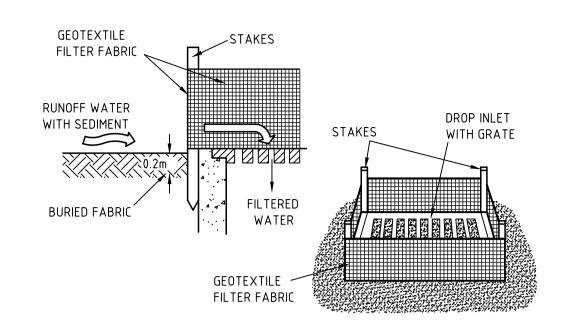


# TEMPORARY CONSTRUCTION ENTRY/EXIT

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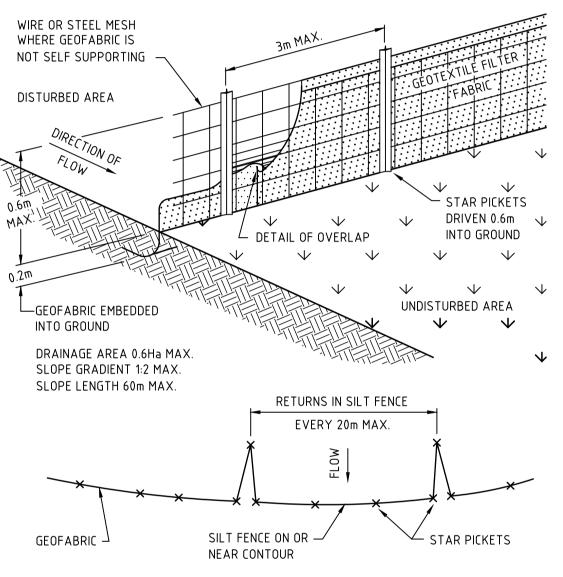


STRAW BALE CHECK DAM NOT TO SCALE



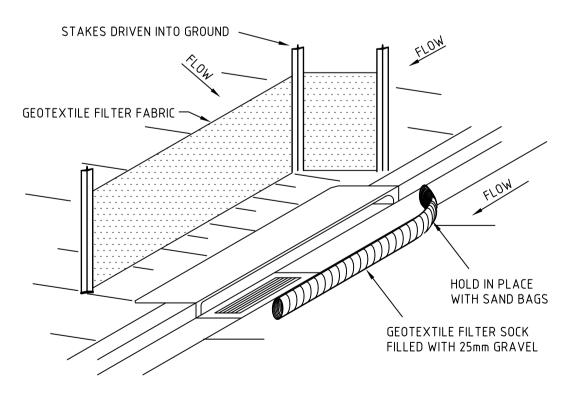
#### GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP

NOT TO SCALE



SILT STOP FENCE - TYPICAL INSTALLATION

NOT TO SCALE



KERB INLET PIT SEDIMENT BARRIER NOT TO SCALE

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**GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** LOTS 24, 25 & 26 DP 35120 153-155 PENNANT ST & 2 COLLETT PDE

PARRAMATTA NSW 2150

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21/10/2024

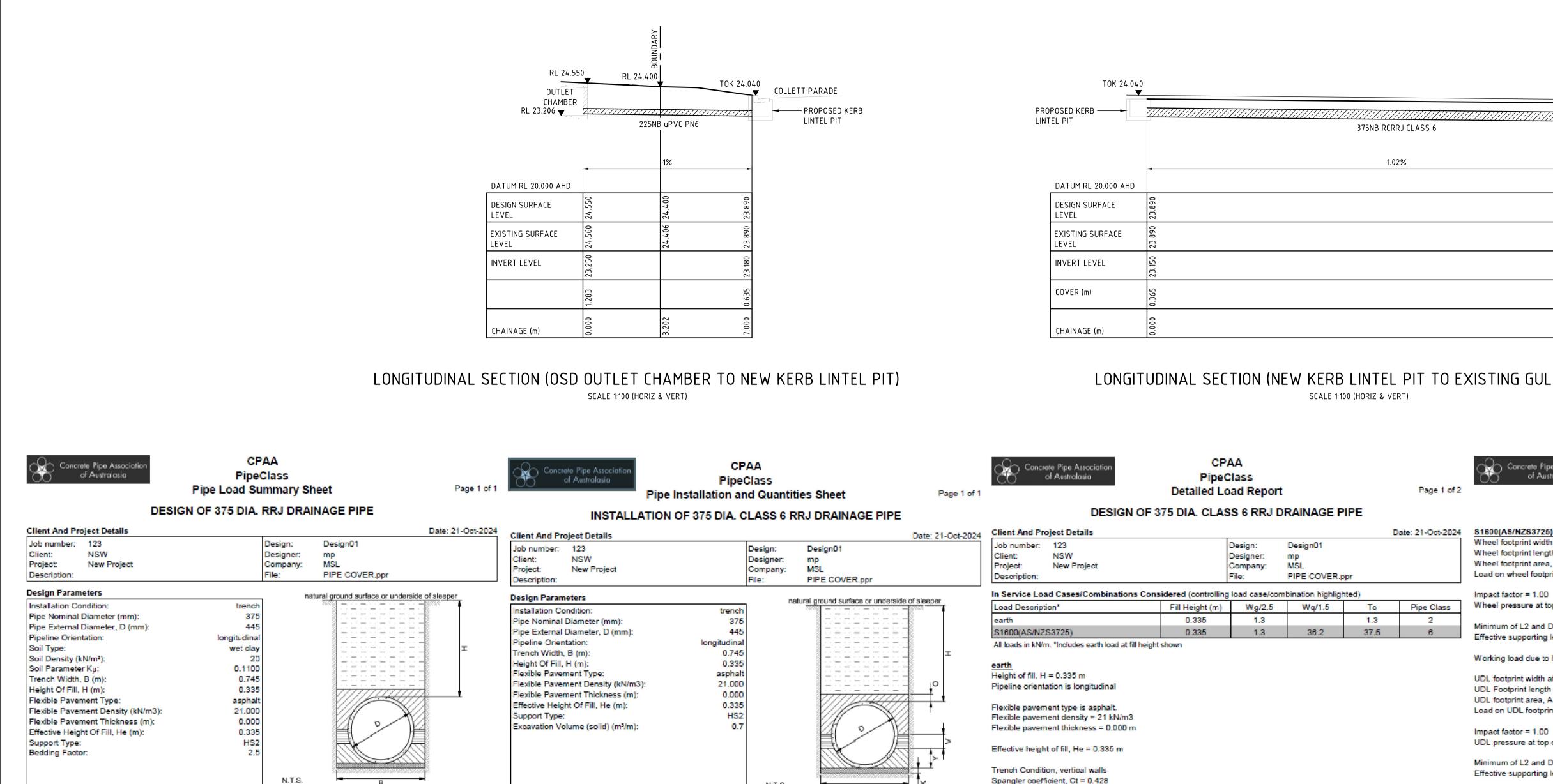
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In Service Load Cases/Combinations Considered (controlling load case/combination highlighted) Load Description\* Fill Height (m) Wg/2.5 Wq/1.5 Pipe Class 0.335 1.3 1.3 2

1.3

All loads in kN/m. \*Includes earth load at fill height shown.

Controlling Loads: earth + S1600(AS/NZS3725) standard vehicle Minimum Test Load: Tc = 1.3 + 36.2 = 37.5 kN/m

#### Adopt 375 dia. Class 6 RRJ pipe (375/6 RRJ) in accordance with AS/NZS 4058:2007.

0.335

#### Design Notes:

S1600(AS/NZS3725)

1. In service live loads are considered as acting directly (no distribution) on the pipe (for cover < 0.4 m) in accordance with AS/NZS 3725:2007.

2. A nominal pipe wall thickness of 32 mm has been assumed.

Installation Quantities Quantities(m³/m) Minimum Zone Compaction (%) Support Zone Solid Depth Loose Density Index Relative Density (for cohesionless soils) (standard compaction) X = 1000.075 0.090 Bed zone Y = 1350.061 0.073 60 Haunch zone V = 900.029 0.034 60 90 Side zone Overlay zone O = 1500.199 0.000 as per project specification as per project specification 185 0.138 0.000

N.T.S.

as per project specification as per project specification

Material Grading Requirements

Sieve Size (mm)	75.0	19.0	9.5	2.36	0.60	0.30	0.15	0.075
Bed & Haunch Zones (% mass passing)	-	100	-	100-50	90-20	60-10	25-0	10-0
Side Zone (% mass passing)	100	-	100-50	100-30	50-15	-	-	20-0

#### Construction Equipment Requirements

No construction vehicles considered.

## Design Notes:

Backfill

1. All bed, haunch and side zone material passing the 0.075 mm sieve to have low plasticity (AS 1726). 2. Ordinary fill material to have no stones > 150 mm dia., and no more than 20% to be 75-150 mm.

3. For additional information refer to the project specification.

4. A nominal pipe wall thickness of 32 mm has been assumed.

LONGITUDINAL SECTION (NEW KERB LINTEL PIT TO EXISTING GULLY PIT)

Spangler coefficient, Ct = 0.428 Working load due to earth fill, Wg = 4.8 kN/m

Positive Projection Check Settlement ratio, rs = 1.000 Projection ratio, p = 0.700 Plane of equal settlement height, He = 0.335 Modified Spangler coefficient, C'e = 1.088 Working load due to earth fill, Wg = 3.2 kN/m

Positive projection controls, adopt Wg = 3.2 kN/m

Concrete Pipe Associati of Australasia

CPAA PipeClass

EXISTING GULLY

Page 2 of 2

Detailed Load Report

DESIGN OF 375 DIA. CLASS 6 RRJ DRAINAGE PIPE

TOK 23.850

Wheel footprint width at top of pipe, L1 = 0.200 m Wheel footprint length at top of pipe, L2 = 0.500 m Wheel footprint area, A = 0.100 m2 Load on wheel footprint = 40.0 kN

Impact factor = 1.00

Wheel pressure at top of pipe, q = 400.000 kPa

Minimum of L2 and D for wheel, S = 0.445 m Effective supporting length of pipe for wheel, Le = 0.684 m

Working load due to live load, Wq (wheel) = 52.1 kN/m

UDL footprint width at top of pipe, L1 = 1.000 m UDL Footprint length at top of pipe, L2 = 3.200 m UDL footprint area, A = 3.200 m2 Load on UDL footprint = 24.0 kN

Impact factor = 1.00

UDL pressure at top of pipe, q = 7.500 kPa

Minimum of L2 and D for UDL, S = 0.445 m Effective supporting length of pipe for UDL, Le = 1.484 m

Working load due to live load, Wq (UDL) = 2.2 kN/m

Total working load due to live load, Wg = 54.3 kN/m

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HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED

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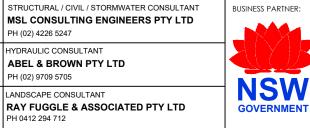
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ANDSCAPE CONSULTANT

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**GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT** LOTS 24, 25 & 26 DP 35120 153-155 PENNANT ST & 2 COLLETT PDE

PARRAMATTA NSW 2150

PIPE LONG SECTIONS & PIPE COVER DESIGN 21/10/2024

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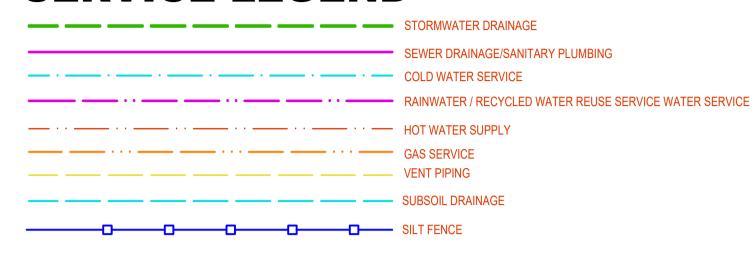
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# PROPOSED GENERAL HOUSING DEVELOPMENT 153-155 PENNANT ST., & COLLETT PDE. PARRAMATTA

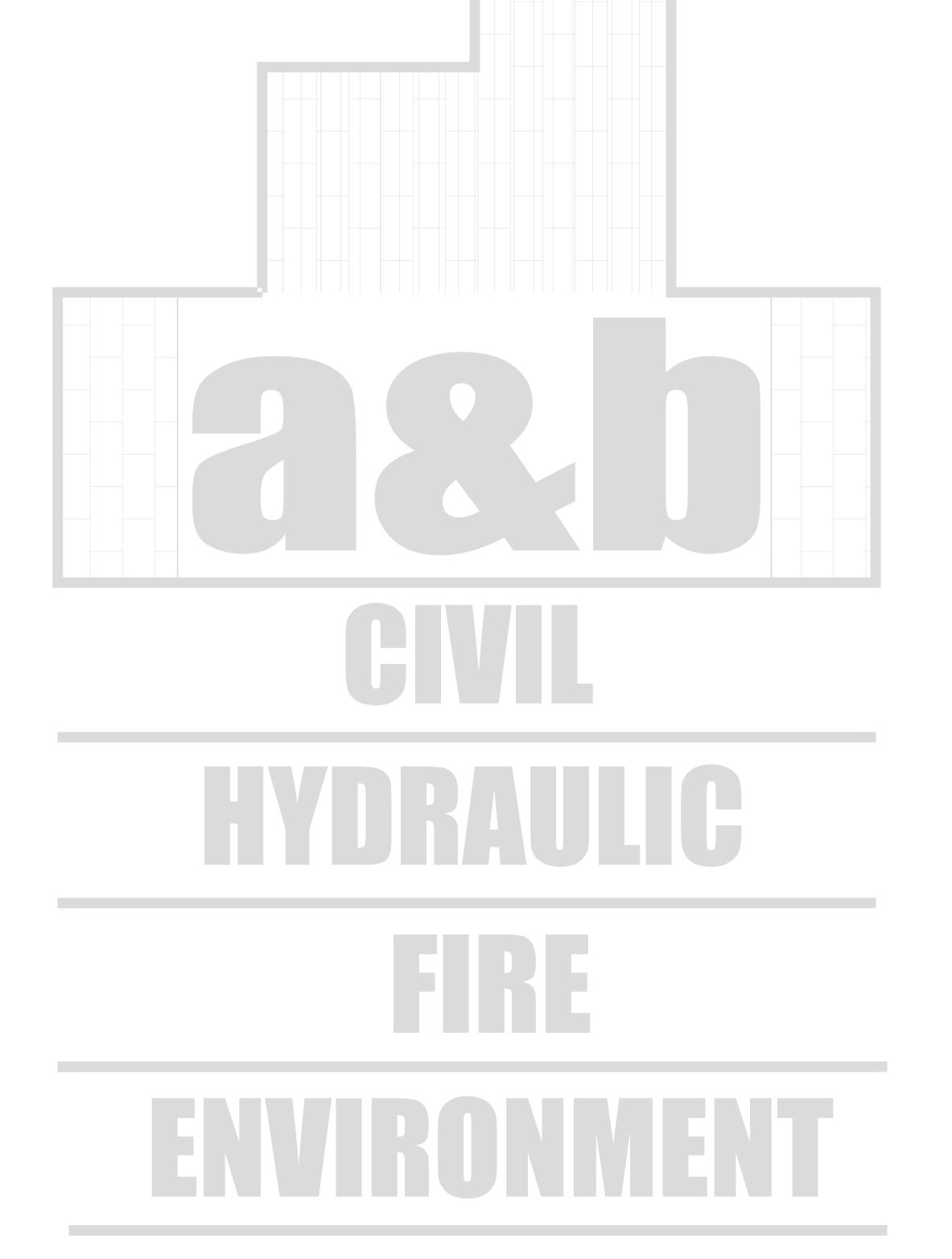
HYDRAULIC SERVICES PLAN

# **SERVICE LEGEND**



#### **GENERAL HYDRAULIC SERVICES NOTES**

- a. IF IN DOUBT, ASK. REFER ANY QUESTIONS OR CLARIFICATIONS YOU HAVE PRIOR TO THE CLOSE OF TENDER TO THE HYDRAULIC ENGINEER, ARCHITECT, OR OTHER RELEVANT PARTY. FAILURE TO DO SO DOES NOT ABSOLVE THE CONTRACTOR OF THEIR RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS
- THE CONTRACTOR SHALL READ AND FULLY FAMILIARISE THEMSELVES WITH THE HYDRAULIC PLANS, HYDRAULIC SPECIFICATION DOCUMENTS, AUSTRALIAN STANDARDS, AND AUTHORITY REQUIREMENTS APPLICABLE TO THE WORKS. CLAIMS DUE TO IGNORANCE OF THE CONTENTS OF HYDRAULIC SERVICES DOCUMENTS AND / OR
- OF THE SITE PRIOR TO SUBMITTING THEIR TENDER AND FAMILIARISE THEMSELVES WITH THE VISIBLE NATURE
- d. THE HYDRAULIC SERVICES DRAWINGS AND SPECIFICATION SET OUT THE PROJECT REQUIREMENTS TO THAT SERVICE, THE RELEVANT LOCAL AUTHORITY REQUIREMENTS AND FOR THOSE REQUIREMENTS AS SET OUT IN THE HYDRAULIC SERVICES DRAWINGS AND THE ACCOMPANYING SPECIFICATION.
- e. HYDRAULIC SERVICES DRAWINGS ARE TO BE READ IN CONJUNCTION WITH HYDRAULIC SERVICES SPECIFICATION AND DRAWINGS OF ALL OTHER DISCIPLINES FOR THIS PROJECT. IGNORANCE OF THE CONTENTS OF ANY DOCUMENT RELATIVE TO THE PROJECT SHALL NOT PROVIDE A BASIS FOR ANY VARIATION TO THE CONTRACT.
- f. ALLOW TO OBTAIN ALL APPROVALS AND PAY ALL FEES AND CHARGES TO ALL AUTHORITIES IN RELATION TO THE PROPOSED SERVICE INSTALLATIONS INDICATED ON THE DRAWINGS.
- g. ALLOW TO DISCONNECT & SEAL ALL REDUNDANT HYDRAULIC SERVICES RELATED TO THE INSTALLATION OF THE PROPOSED WORKS TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY.
- h. ALL WORK BE CARRIED OUT IN ACCORDANCE WITH WATER & SEWER AUTHORITY REGULATIONS, SUPERINTENDENTS APPROVAL & HYDRAULIC SPECIFICATION.
- i. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND. LOCATION & DEPTH / INVERT LEVEL OF BRANCH SHALL BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- REUSED DRAINS UNDER BUILDINGS SHALL BE RETESTED WHERE DIRECTED BY SUPERINTENDENT. k. INSPECTION OPENINGS SHALL BE PROVIDED AT:
- I. THE PROPERTY BOUNDARY
- m. ON EACH WC OR BRANCH
- n. AT MAX. 30m INTERVALS SPREAD EQUIDISTANT WHERE POSSIBLE
- o. IMMEDIATELY UPSTREAM & DOWNSTREAM OF ALL JUMP-UPS
- p. AS REQUIRED BY THE AUTHORITY FOR INSPECTION & MAINTENANCE
- q. ALL SERVICES THAT CROSS PAVEMENTS, FOOTING ETC SHALL BE BACKFILLED WITH GRANULAR MATERIAL TO SUBGRADE LEVEL & COMPACTED TO 95% M.M.D.D.
- r. PROVIDE 80mm COMPRESSIBLE MATERIAL OVER PIPEWORK WHERE CLEARANCE TO UNDERSIDE OF FOOTING IS LESS THAN 150mm UNLESS NOTED OTHERWISE.
- s. ON COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING: KERBS, FOOTPATH, CONCRETE AREAS, GRAVEL AREAS & ROAD PAVEMENTS.
- t. CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION SHALL BE MADE OVER AUTHORITY SERVICES, TELSTRA OR ELECTRICAL SERVICES. EXCAVATE BY HAND
- u. THE PLUMBING CONTRACTOR SHALL OBTAIN ALL AUTHORITY APPROVALS & PAY ALL FEES.
- v. INVERT LEVELS SHOWN ARE INDICATIVE ONLY. CONFIRM ALL LEVELS ON SITE BEFORE COMMENCING **INSTALLATION WORK..**
- w. ACCESS PANEL ARE TO BE INSTALLED WHERE REQUIRED TO ACCESS CONTROL VALVES IN WATER LINES AS REQUIRED & INSPECTION OPENINGS ON STORMWATER & SEWER RISERS. ACCESS PANELS SHALL MATCH PROPOSED FINISH. REFER TO ARCHITECTURAL DRAWING FOR FINISHES.



#### **EXISTING SERVICES NOTES**

- RESPONSIBILITY TO IDENTIFY THE LOCATIONS OF ALL SERVICES PRIOR TO CONSTRUCTION WORKS AND TO AVOID DISTURBANCE OF THESE SERVICES. THE CONTRACTOR IS ADVISED TO CONTACT THE 'DIAL BEFORE YOU DIG' SERVICE TO ASCERTAIN THE LOCATIONS OF ANY EXISTING AUTHORITY SERVICES.
- 3. HYDRAULIC SUBCONTRACTOR SHALL ALLOW TO CONSTRUCT NECESSARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDINGS REQUIRED TO REMAIN IN OPERATION TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS IS COMPLETE THE SUPERINTENDENT

#### Rainwater Tank Installation requirements

#### olumbing work is to be done or supervised by a licensed plumber in compliance with these guidelines and the NSW Code of Practice: Plumbing and

Under no circumstances is there to be direct connection between the rainwater service and the drinking water service.

#### Materials used in the rainwater tank plumbing must comply with AS/NZS 3500 Part 1 Water Supply Section 2 Materials and Products Pipes and labelling

Pipe materials to be used for rainwater need to be approved products and be clearly and permanently identified 'RAINWATER' continuously along the length. This can be done for below ground pipes by using identification tape (made in accordance with A52648) or for above ground pipes by using adhesive pipe markers (made in accordance with A51345).

Identification tape marked 'RAINWATER' must be at least 75mm wide. The identification tape is to be installed on top of the rainwater pipeline, running longitudinally, and fastened to the pipe at not more than 3 metre intervals

Every rainwater tank outlet must be labelled 'RAINWATER' on a permanent sign. An example is shown in Figure 2, A51319 provides direction as to appropriate layout, size and face materials for signs.

#### Proximity to other services

Rainwater pipes must be separated from any parallel drinking water service.

Any rainwater pipe installed above ground must be a minimum of 100mm away from any drinking water pipe.

#### Any rainwater pipe installed below ground must be a minimum of 300mm away from any drinking water pipe.

Check that all the following backflow protection is in place: **Above ground rainwater tanks** 

Sydney Water has provided a meter with one containing an integral dual check valve.

# FIXTURE LEGEND

Vent Pipe lt \_\_ Laundry Tub Clearout wm — Washing Machine Air Admittance Valve Non Potable Water

Bayonet Fitting

Cold Water Rise

Cooktop

GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT

LOTS 24,25 & 26 DP 35120

**PARRAMATTA NSW 2150** 

Hot Water Heater

LEGEND & NOTES 153-155 PENNANT ST & 2 COLLETT PDE

HYDRAULIC SERVICES PLAN APR. 2023 NTS@A1 BGYMW 3462 SB Aug 09, 2024 - 5:14pm 1 OF 7





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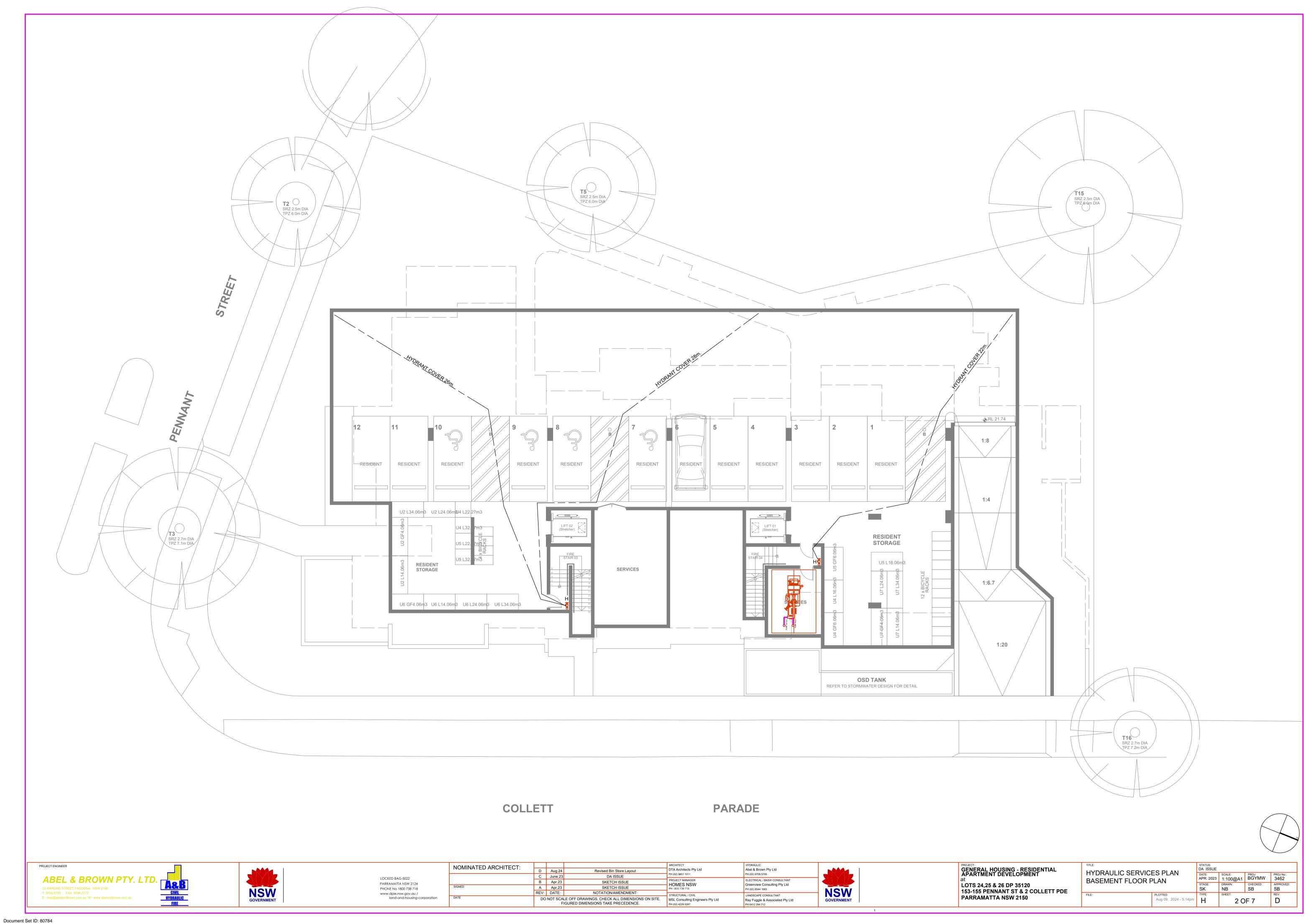
Revised Bin Store Layout

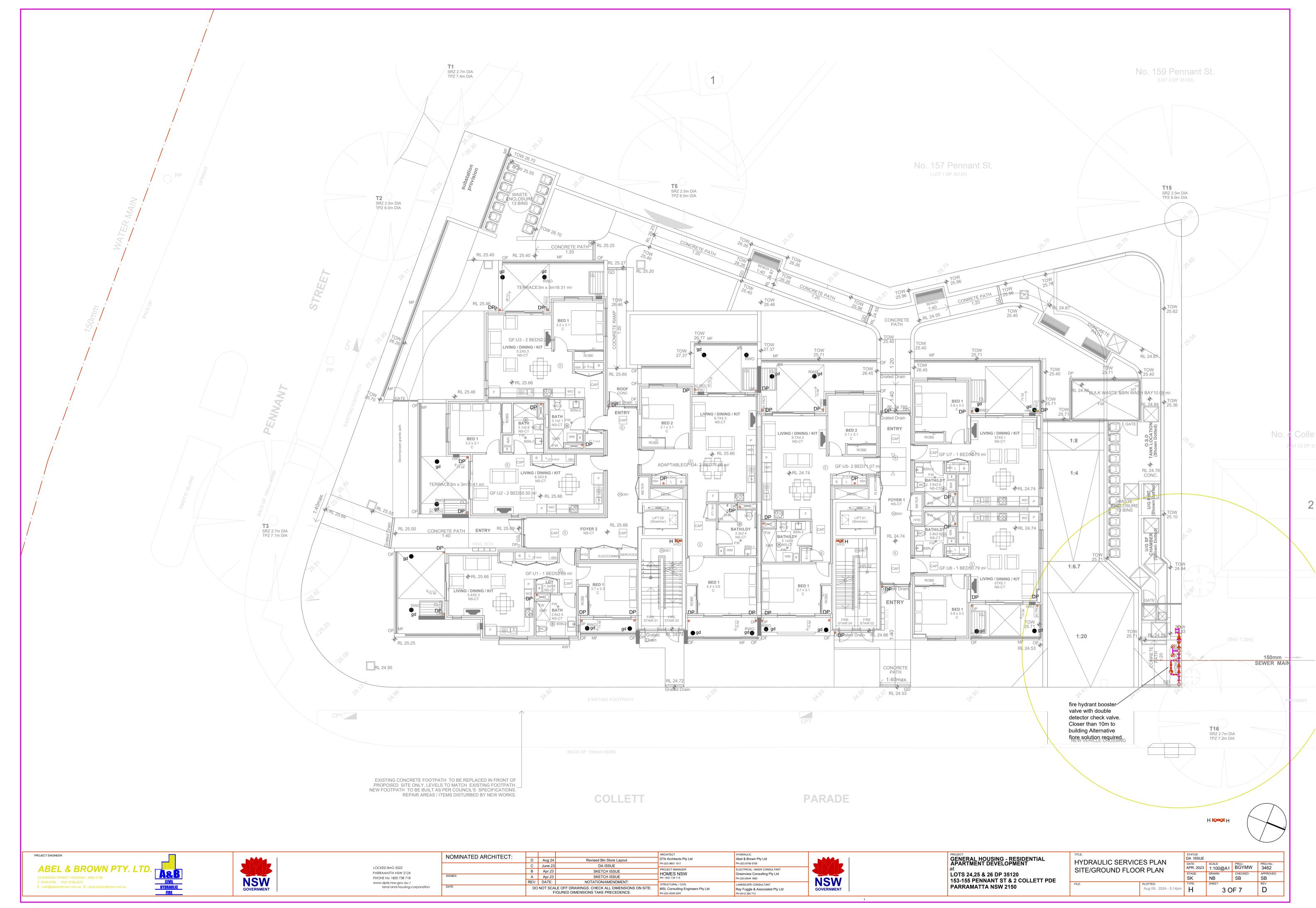
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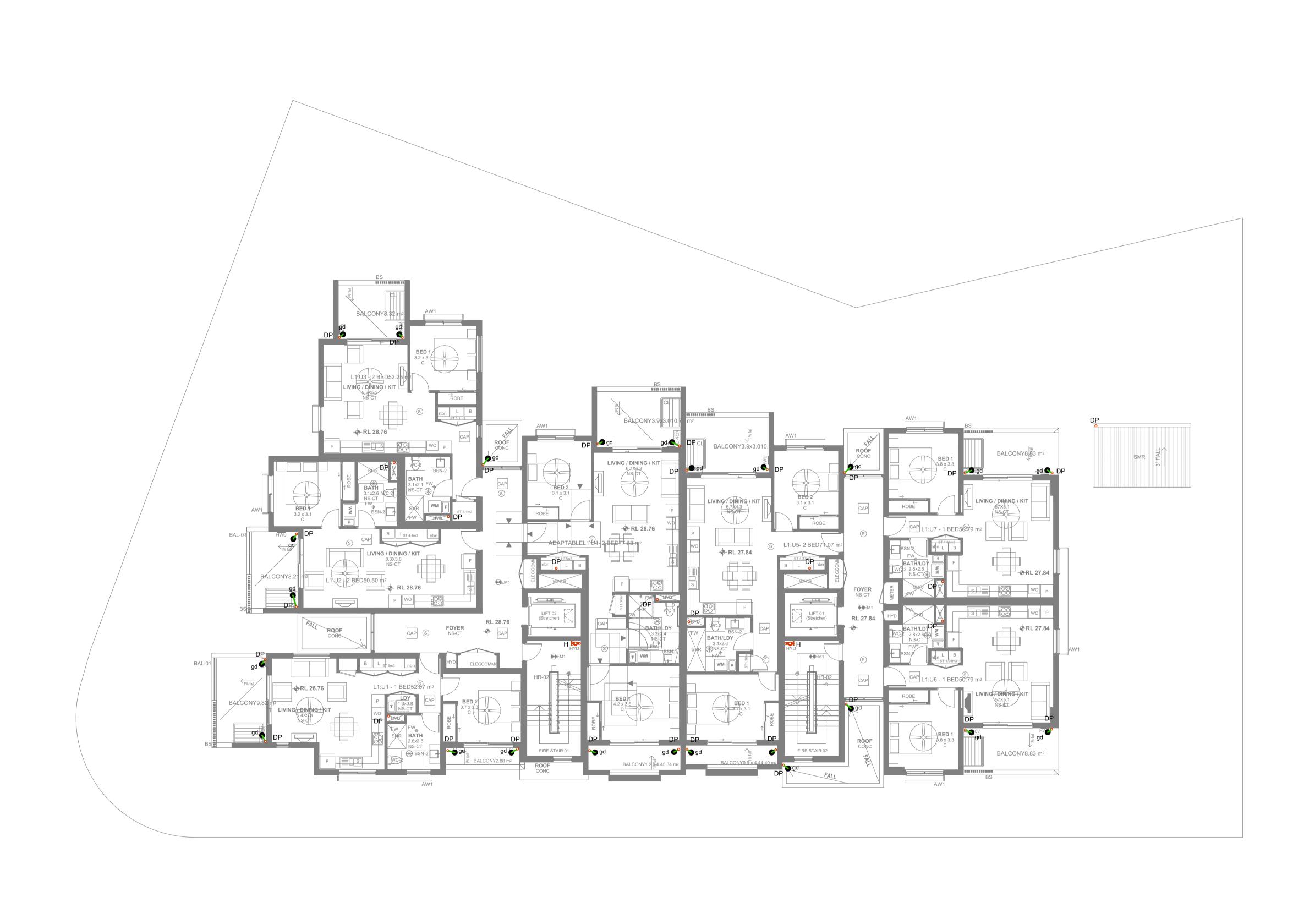
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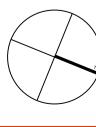
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Abel & Brown Pty Ltd
PH (02) 9709 5705 Revised Bin Store Layout PH (02) 9601 1011 DA ISSUE SKETCH ISSUE SKETCH ISSUE HOMES NSW PH 1800 738 718 Greenview Consulting Pty Ltd PH (02) 8544 1683 NOTATION/AMENDMENT REV: DATE: NOTATION/AMENDMENT:

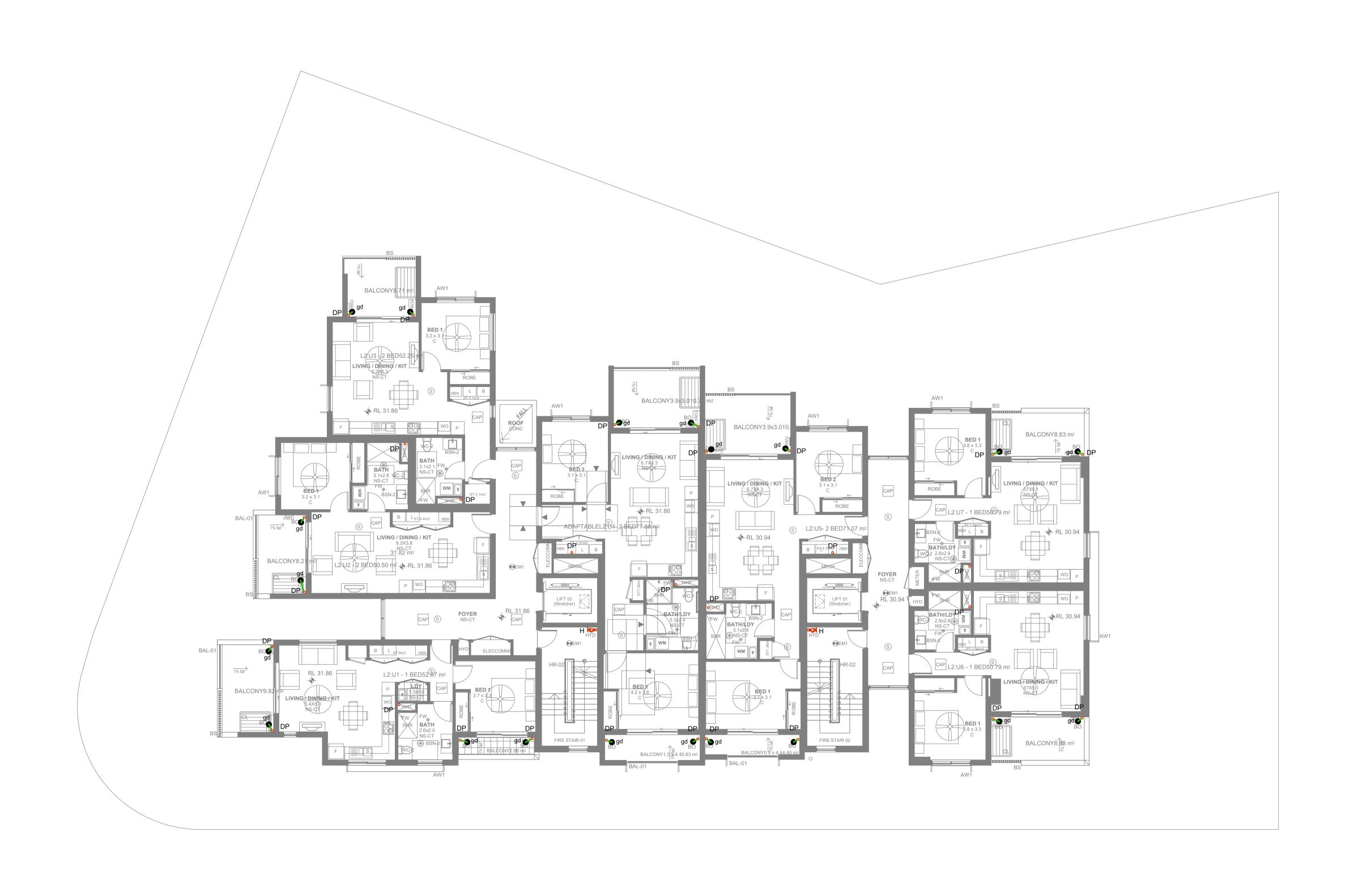
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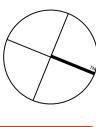
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GENERAL HOUSING - RESIDENTIAL APARTMENT DEVELOPMENT LOTS 24,25 & 26 DP 35120 153-155 PENNANT ST & 2 COLLETT PDE PARRAMATTA NSW 2150 HYDRAULIC SERVICES PLAN FIRST FLOOR LEVEL

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D Aug 24 Revised Bin Store Layout

C June.23 DA ISSUE

B Apr.23 SKETCH ISSUE

SIGNED A Apr.23 SKETCH ISSUE

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TITLE:

HYDRAULIC SERVICES PLAN

SECOND FLOOR LEVEL

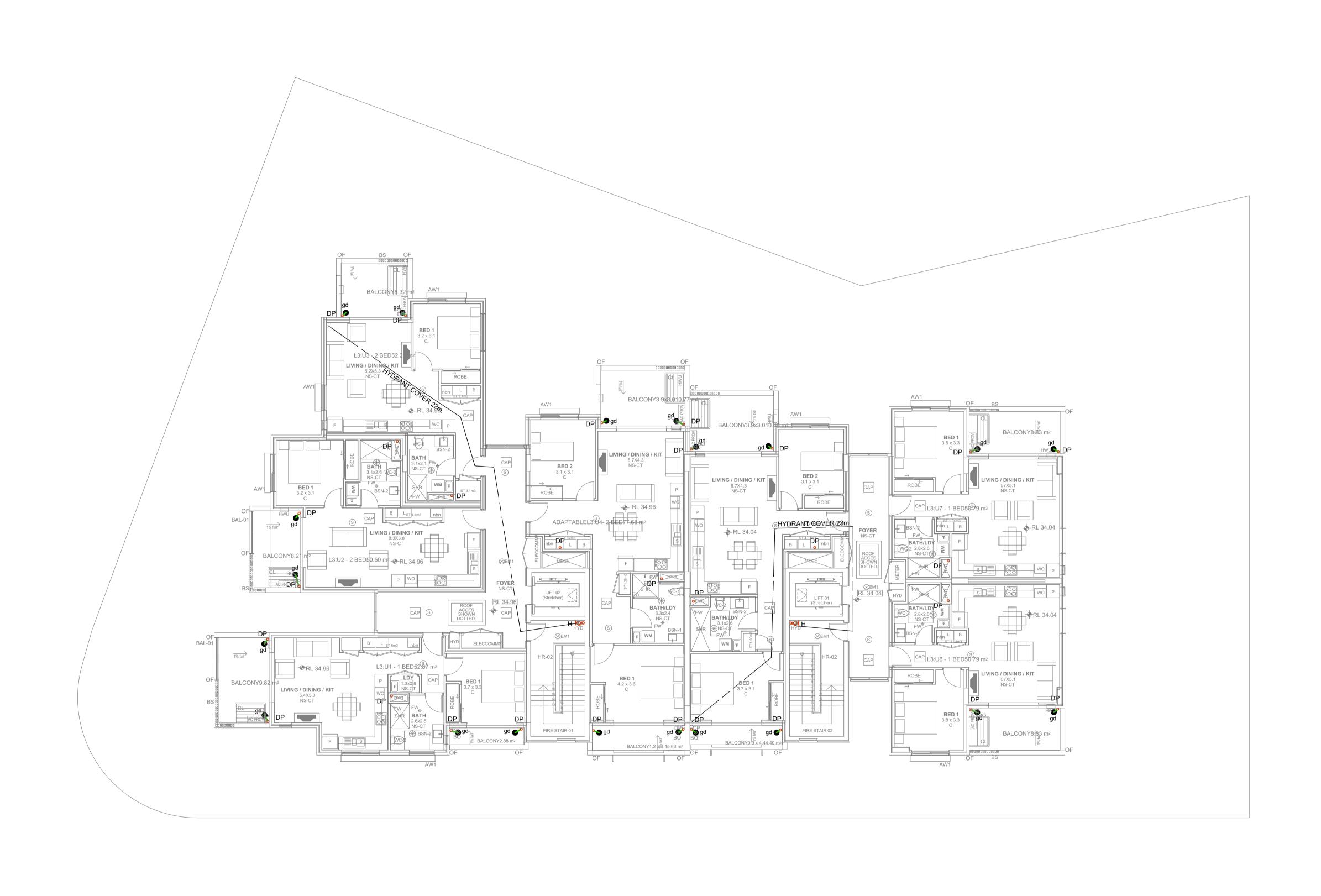
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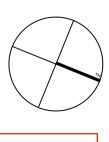
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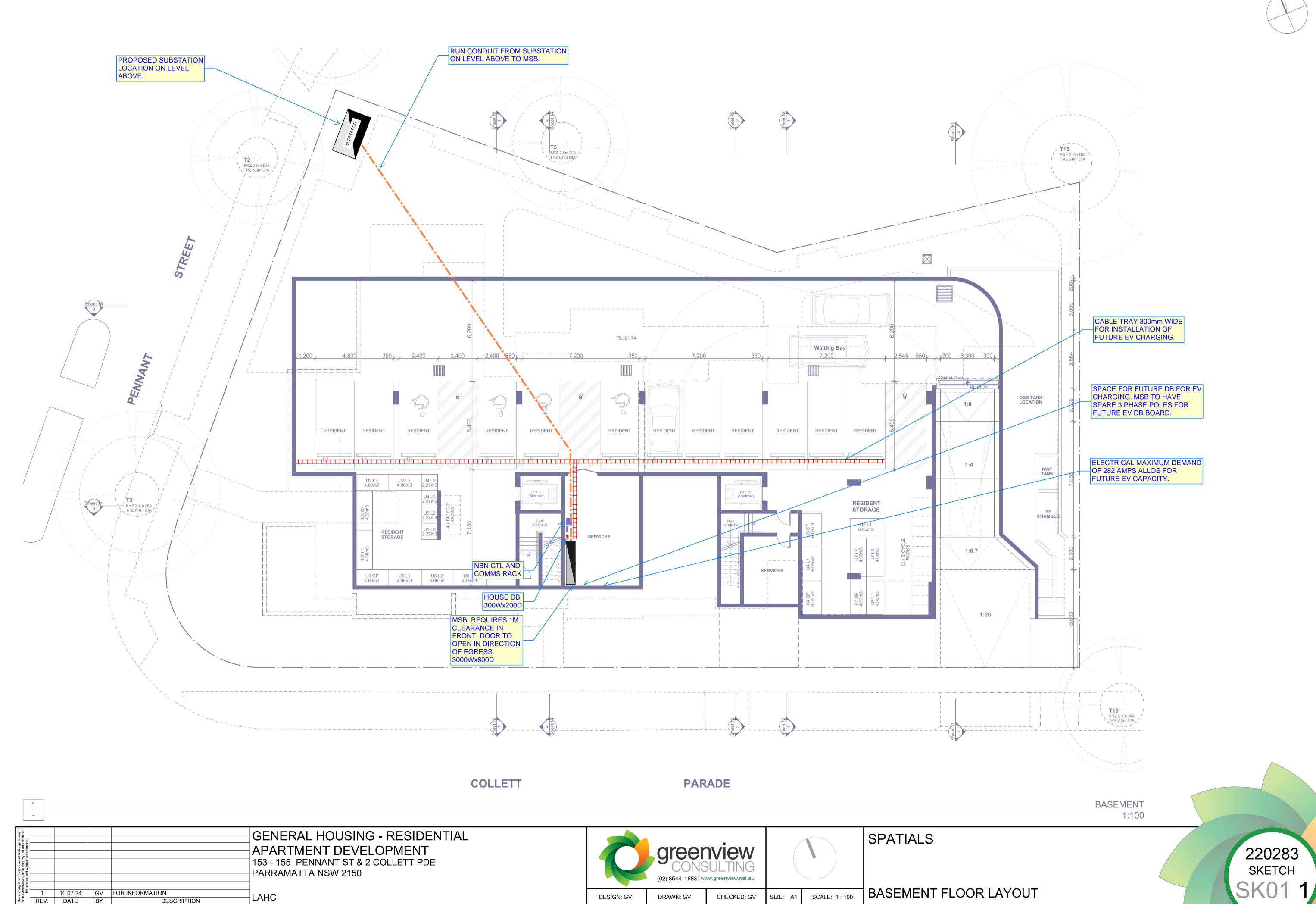


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		С	June.23	DA ISSUE	PH (02) 9601 1011	PH (02) 9709 5705	
		В	Apr.23	SKETCH ISSUE	PROJECT MANAGER HOMES NSW	ELECTRICAL / BASIX CONSULTANT Greenview Consulting Pty Ltd PH (02) 8544 1683	
	SIGNED	Α	Apr.23	SKETCH ISSUE	PH 1800 738 718		
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APARTMENT DEVELOPMENT
at
LOTS 24,25 & 26 DP 35120
153-155 PENNANT ST & 2 COLLETT PDE
PARRAMATTA NSW 2150





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